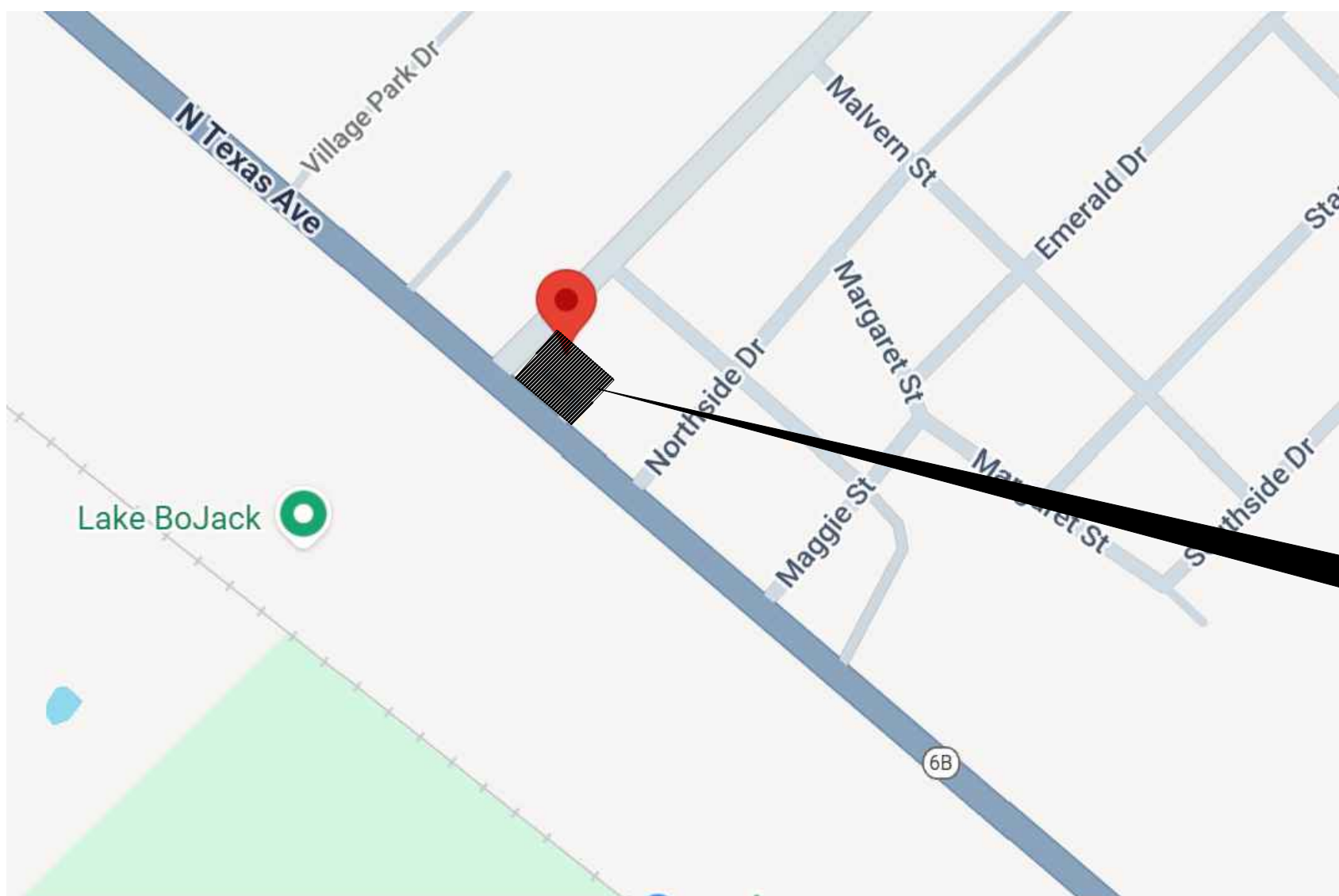
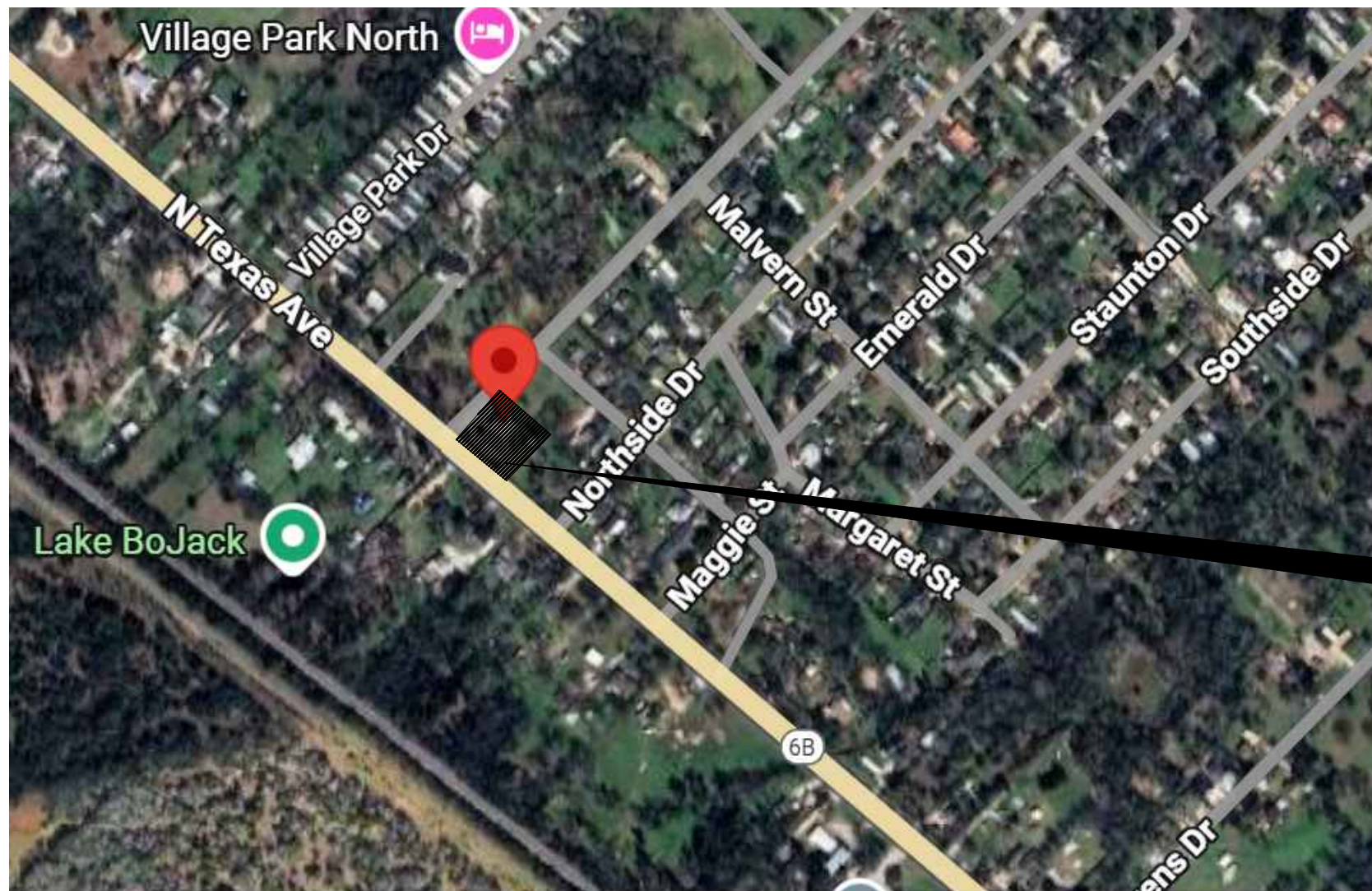


PROPOSED "C-STORE & GAS STATION"  
LOCATED AT  
4311 N TEXAS AVE, BRYAN, TX 77803



VICINITY MAP  
SCALE: N.T.S



PROJECT LOCATION  
SCALE: N.T.S

| FLOOD PLAN INFORMATION                                                                                                                             |  |
|----------------------------------------------------------------------------------------------------------------------------------------------------|--|
| THE SUBJECTED PROPERTY " IS NOT " LOCATED IN FEDERAL INSURANCE ADMINISTRATION DESIGNATED FLOOD HAZARD AREA AND IS IN ZONE " X" MAP NO.48041C0185E. |  |
| DATED: 5/16/2012. THIS INFORMATION IS BASED ON GRAPHIC PLOTTING ONLY. WE DON'T ASSUME RESPONSIBILITY FOR EXACT DETERMINATION.                      |  |

| DEVELOPMENT AREA     |                   |
|----------------------|-------------------|
| TOTAL ACREAGE        | = 1.07 ACRES      |
| PROPOSED DEVELOPMENT | = 1.07 ACRES      |
| TYPE OF DEVELOPMENT  | = 1STORY BUILDING |

PROJECT DESCRIPTION

PROJECT NAME : PROPOSED "C-STORE AND GAS STATION"  
LOCATION : 4311 N TEXAS AVE, BRYAN , TEXAS 77803  
PROJECT DESCRIPTION : PROPOSED C-STORE 5,700 SQ.FT AND WASHATERIA AREA OF 2,400 SQ.FT EACH.

SHEET INDEX

| CIVIL |                                      |
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| C-0.0 | COVER SHEET                          |
| C-1.0 | DEMOLITION PLAN                      |
| C-2.0 | SITE PLAN                            |
| C-3.0 | GRADING PLAN                         |
| C-3.1 | DRAINAGE PLAN                        |
| C-3.2 | SITE SECTION & DRAINAGE CALCULATIONS |
| C-4.0 | EROSION CONTROL PLAN                 |
| C-5.0 | UTILITY PLAN                         |
| C-6.0 | PAVING PLAN                          |
| C-7.0 | SITE DETAILS                         |
| C-7.1 | CONSTRUCTION DETAILS                 |
| C-7.2 | SWPPP DETAILS                        |
| L-100 | LANDSCAPE SITE PLAN                  |
| C-201 | GAS TRUCK DELIVERY AUTO-TURN EXHIBIT |

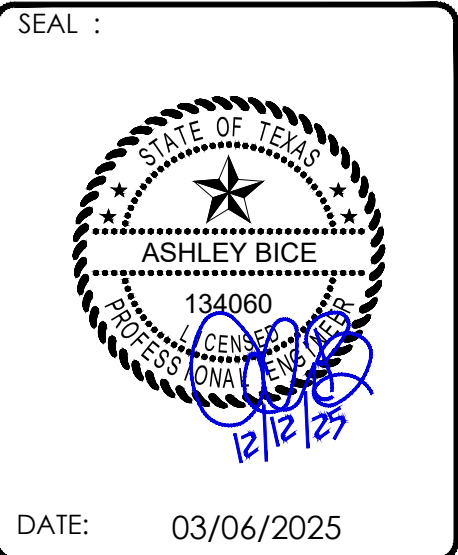
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| BID ONLY              | <input type="checkbox"/>            |
| PERMITS SET           | <input type="checkbox"/>            |
| CONSTRUCTION SET      | <input checked="" type="checkbox"/> |

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LEGAL DESCRIPTION:  
TOPOGRAPHY SURVEY OF LOTS 1, 2, 3, 4, 7, 8, BLOCK 1  
MARGARET WALLACE SUBDIVISION  
VOLUME 138, PAGE 573, B.C.P.R.  
LOCATED IN THE MOSES BAINE LEAGUE, A-3, BRAZOS COUNTY, TEXAS  
  
LOT AREA:  
1.072 ACRES (46,676.04 SQ. FT.)  
  
PROPERTY OWNER CONTACT INFORMATION:  
OWNER NAME: NAZARANA PROPERTIES INC  
PHONE: (979) 450-3350  
EMAIL: asifumaiya@gmail.com

PROP – LAMPO’S GROCERY  
LOCATED AT  
4311 N TEXAS AVE, BRYAN, TX 77803

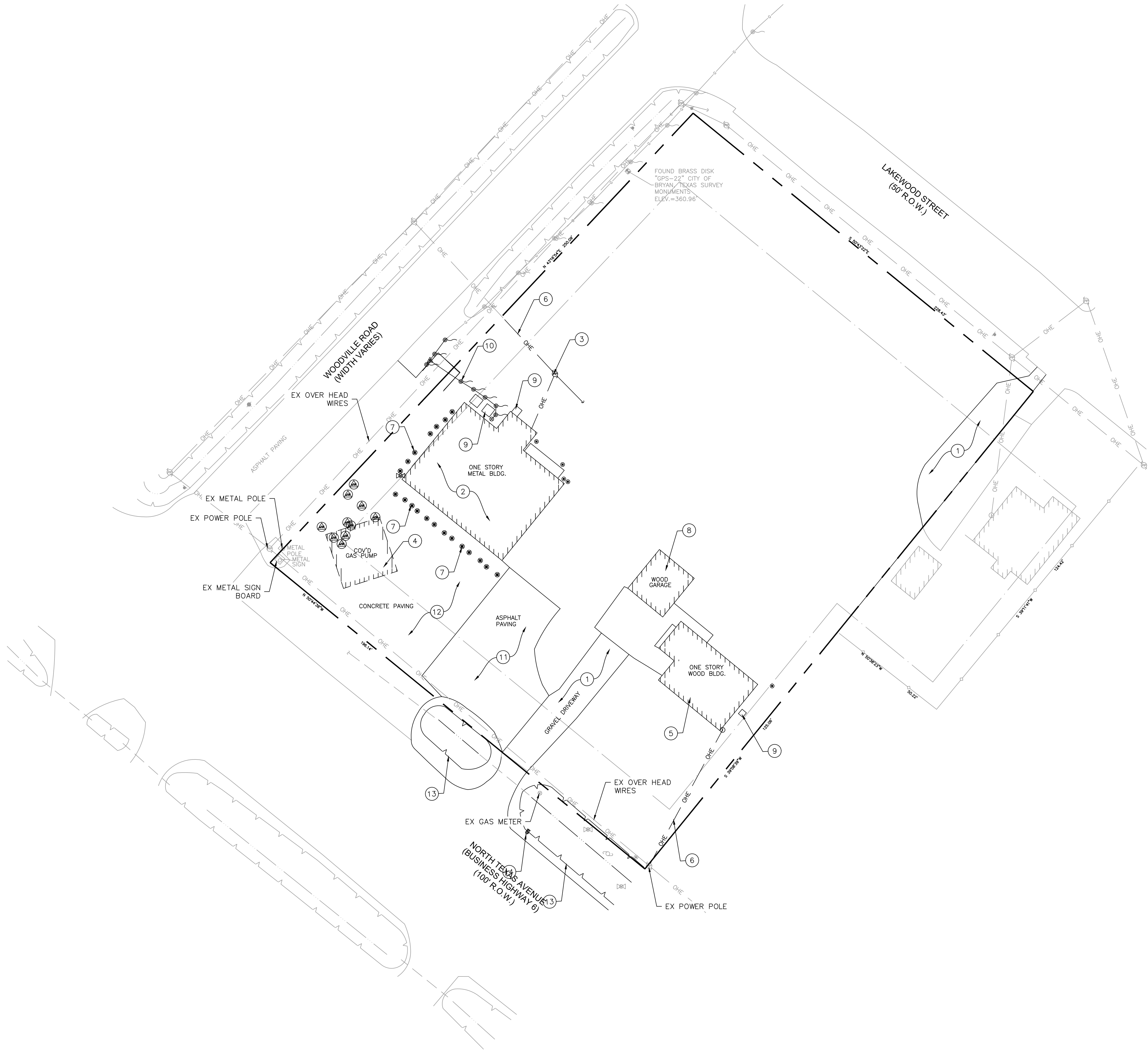


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| PROJECT NUMBER | : 25-006 |
| SCALE          | :        |
| DRAWN BY       | : R.R.   |
| CHECKED BY     | : A.Z    |
| SHEET TITLE    | :        |

COVER SHEET

DRAWING NUMBER:  
**C-0.0**





DEMOLITION KEY PLAN NOTES

- 1 REMOVE AND DISPOSE OFF GRAVEL DRIVEWAY
- 2 REMOVE AND DISPOSE OFF ONE STORY METAL BUILDING
- 3 RELOCATE POWER POLE
- 4 REMOVE & DISPOSE OF GAS PUMP
- 5 REMOVE AND DISPOSE OFF ONE STORY WOOD BUILDING
- 6 RELOCATE OVER HEAD WIRES
- 7 REMOVE BOLLARDS
- 8 REMOVE WOOD GARAGE
- 9 REMOVE A/C
- 10 REMOVE GAS PIPELINE
- 11 REMOVE & DISPOSE OF ASPHALT PAVING
- 12 REMOVE & DISPOSE OF CONCRETE PAVING
- 13 REMOVE DITCH
- 14 REMOVE MAIL BOX

LEGEND

////// EX BUILDING

ISSUE FOR:  
FOR INTER REVIEW ONLY  
BID ONLY  
PERMITS SET  
CONSTRUCTION SET

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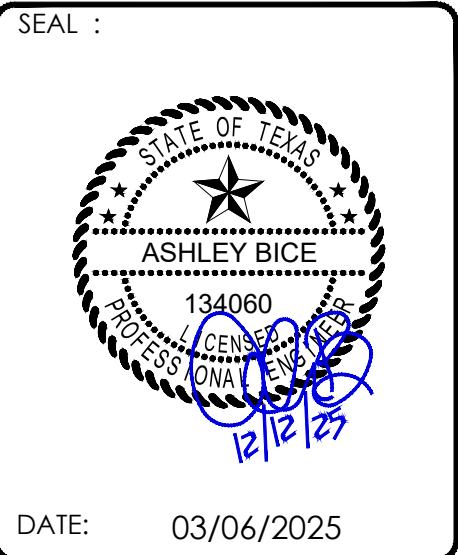


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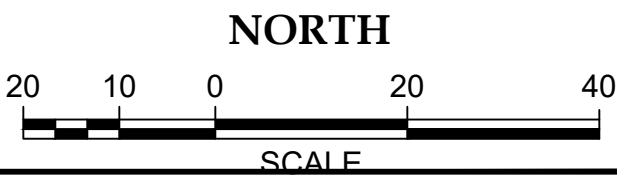
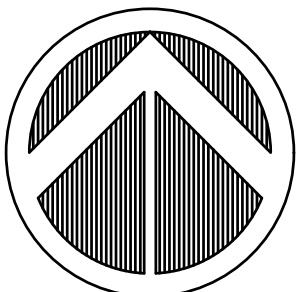
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|                |          |
|----------------|----------|
| PROJECT NUMBER | : 25-006 |
| SCALE          | :        |
| DRAWN BY       | : R.R.   |
| CHECKED BY     | : A.Z    |
| SHEET TITLE    | :        |

DEMOLITION  
PLAN

DRAWING NUMBER:  
**C-1.0**







| <b>SITE DATA SUMMARY</b> |                                |
|--------------------------|--------------------------------|
| EXISTING ZONING          | RETAIL DISTRICT C-2            |
| GROSS SITE AREA          | 1.072 ACRE                     |
| PROPOSED USE             | 1 STORY 8,100 SF RETAIL CENTER |
| MAX. BUILDING HEIGHT     | 33'-0"                         |

|    |                                                                              |
|----|------------------------------------------------------------------------------|
| 1  | TRASH ENCLOSURE SEE DETAIL ON SHEET A-2.3                                    |
| 2  | 6" CONCRETE CURB SEE DETAIL ON SHEET C-7.0.                                  |
| 3  | CONCRETE SIDEWALK SEE DETAIL ON SHEET C-7.0.                                 |
| 4  | NEW PAVEMENT MARKING FOR PARKING SPACES                                      |
| 5  | FOR ADA PARKING DETAIL AND SIGN REFER DETAIL ON SHEET C-6.0.                 |
| 6  | NEW DRIVEWAY PER CITY STANDARD DETAIL NO. ST2-03. SEE DETAIL ON SHEET C-7.1. |
| 7  | INSTALL NEW BOLLARDS. SEE DETAIL ON THIS SHEET.                              |
| 8  | PROPOSED FUEL TANK LOCATION.                                                 |
| 9  | 5.0' CONCRETE SIDEWALK. SEE DETAIL NO. SW1-02A ON SHEET C7.1                 |
| 10 | RETAINING WALL, REFER GRADING PLAN FOR WALL HEIGHT.                          |
| 11 | 5'-0" WALKWAY OF PAVERS OR BRICKS, OR STAMPED/SCORED CONCRETE.               |

**DIMENSION LAYOUT NOTES:**

1. THE CONTRACTOR SHALL LAYOUT AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR DIRECTION AND RESOLUTION OF DISCREPANCIES PRIOR TO PROCEEDING.

2. VERIFY LOCATIONS OF ALL SITE IMPROVEMENTS INSTALLED UNDER OTHER CONTRACTS. ANY PAVEMENTS TO BE FOLLOWED BY THE CONTRACTOR AT SITE CONDITIONS. CONTACT THE ENGINEER FOR INSTRUCTION PRIOR TO COMMENCING WORK.

3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.

4. WHERE DIMENSIONS ARE CALLED AS "EQUAL" ALL REFERENCED ITEMS SHALL BE SPACED EQUALLY MEASURED TO THEIR CENTER LINES.

5. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. CURBS SHALL OR OTHER FIXED SITE IMPROVEMENT AND DIMENSIONS AT CURBS ARE FROM BACK OF CURB UNLESS OTHERWISE NOTED.

6. INSTALL ALL INTERSECTION ELEMENTS AT 90 DEGREES TO EACH OTHER UNLESS OTHERWISE NOTED.

EXPANSION JOINTS:

PROVIDE EXPANSION JOINTS IN ALL CASES WHERE CONCRETE FLATWORK MEETS OTHER STRUCTURES SUCH AS WALLS, CURBS, STEPS & BUILDINGS OR WHERE CONCRETE ABUTS EXISTING CONCRETE PAVING, UTILITY VAULTS, JUNCTION BOXES, ETC. EXPANSION JOINTS REQUIRED AT THESE STRUCTURES MAY NOT BE SHOWN ON THESE DRAWINGS BUT ARE A CONSTRUCTION REQUIREMENT. SEE DETAILS FOR LOCATIONS THAT REQUIRE INSTALLATION OF DOWELS.

- GENERAL NOTES
1. LOCATIONS OF THE EXISTING UTILITIES ARE BASED ON RECORDS FROM SAUNDERS UTILITY COMPANY AND ARE HORIZONTALLY FIELD LOCATED ONLY. THE CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL LOCATION.
2. CONTRACTOR TO UNCOVER AND MARK UTILITY LINES BEFORE CONSTRUCTION.
3. CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COST OF REPAIR OR REPLACEMENT OF EXISTING UTILITIES, DAMAGED OR INTERRUPTED AS A RESULT OF THIS CONSTRUCTION PROJECT.
4. CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE OWNER OF ANY DAMAGED OR INTERRUPTED UTILITIES IMMEDIATELY.
5. ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL WATER STANDARD PIPELINE MATERIALS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
6. EXISTING UTILITIES TO REMAIN ARE TO BE ADJUSTED TO MATCH PROPOSED LAYOUT.
7. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER PRIOR TO BEGINNING WORK.
8. ALL AREAS WITHIN THE PAVED AREAS ARE TO RECEIVE A GRAVEL BASE TO PROVIDE EROSION CONTROL IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 135 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
9. ALL AREAS WITHIN THE UNPAVED AREA ARE TO RECEIVE LOOSE STRAW TO PROVIDE EROSION CONTROL IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 1.5 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
10. AFTER NEW INLETS ARE CONSTRUCTED, INSTALL INLET PROTECTION PER DETAIL.
11. CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC ROADS.
12. CONTRACTOR IS TO PROTECT EXISTING STORM DRAINAGE SYSTEM.
13. CONTRACTOR TO CONFORM TO ALL CONSTRUCTION STORM WATER AND EROSION CONTROL REQUIREMENTS AS REQUIRED BY "EPA FINAL STORM WATER REGULATIONS" AS ADMINISTERED BY THE TEXAS COMMISSION OF ENVIRONMENTAL QUALITY, WHERE PERMITTING IS REQUIRED, A COPY OF THE NOTICE OF INTENT SHALL BE PROVIDED TO THE LOCAL MUNICIPAL AUTHORITY.
14. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN ACCORDANCE WITH THE TEXAS UNDERGROUND FACILITIES DAMAGE PREVENTION ACT. THIS MAY REQUIRE THE CONTRACTOR TO OBTAIN A TELEPHONE CALL TO THE TEXAS ONE-CALL SYSTEM AT 1-800-344-8377 (811) AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION TO ENSURE THAT ANY EXISTING UTILITIES CAN BE LOCATED.
15. CONTRACTOR TO CONSTRUCT ALL ACCESS RAMPS AND PAYING TO ADA STANDARDS. VERIFY.
16. TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
17. EXCESS EXPORTS SHALL BE STOCKPILED AT LOCATION APPROVED BY OWNER AND CONFIRMED BY ENGINEER OF RECORD.

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SEAL :

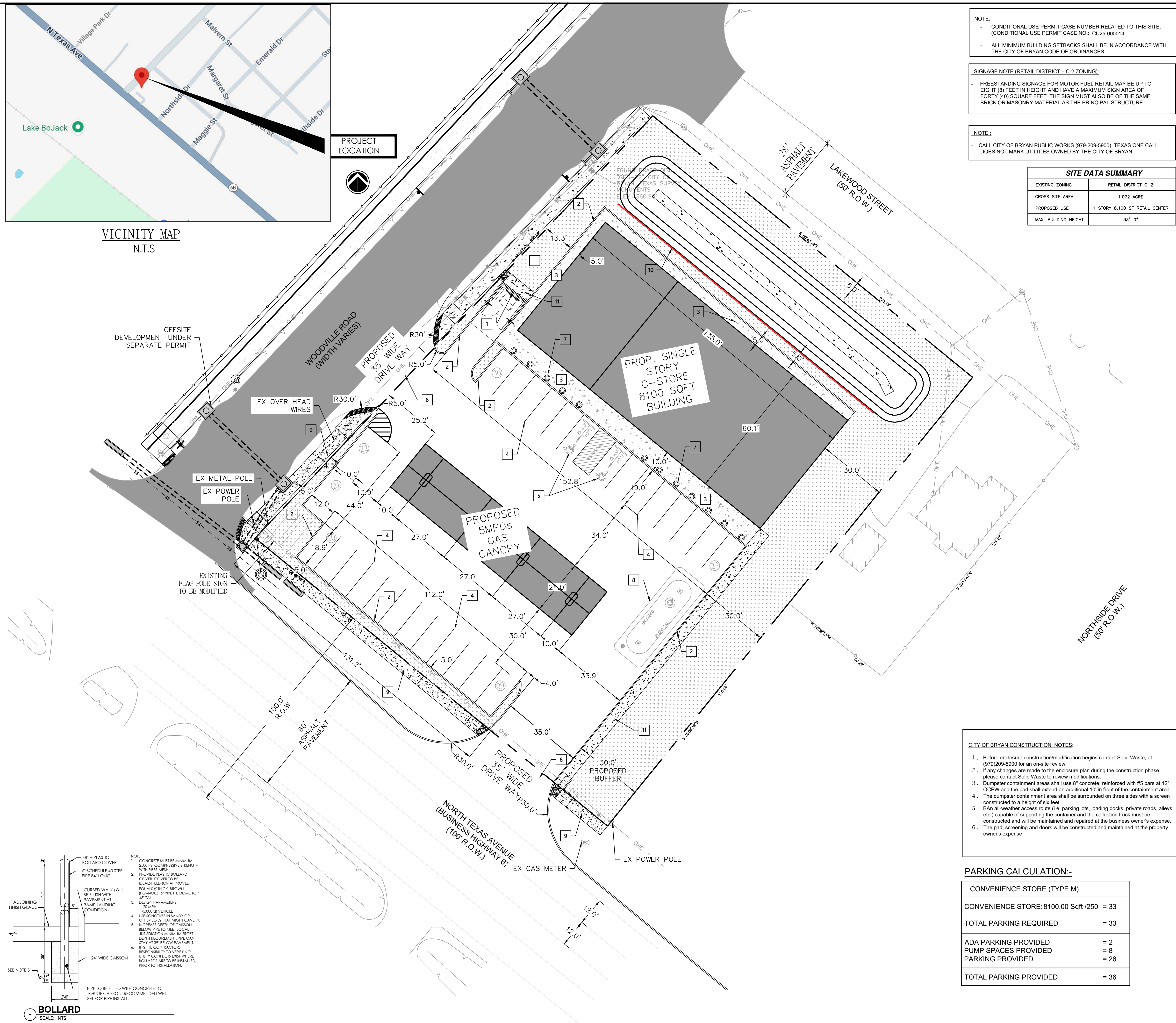


DATE: 03/06/2025

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| PROJECT NUMBER | : | 25-006 |
| SCALE          | : |        |
| DRAWN BY       | : | R.R.   |
| CHECKED BY     | : | A.Z    |
| SHEET TITLE    | : |        |

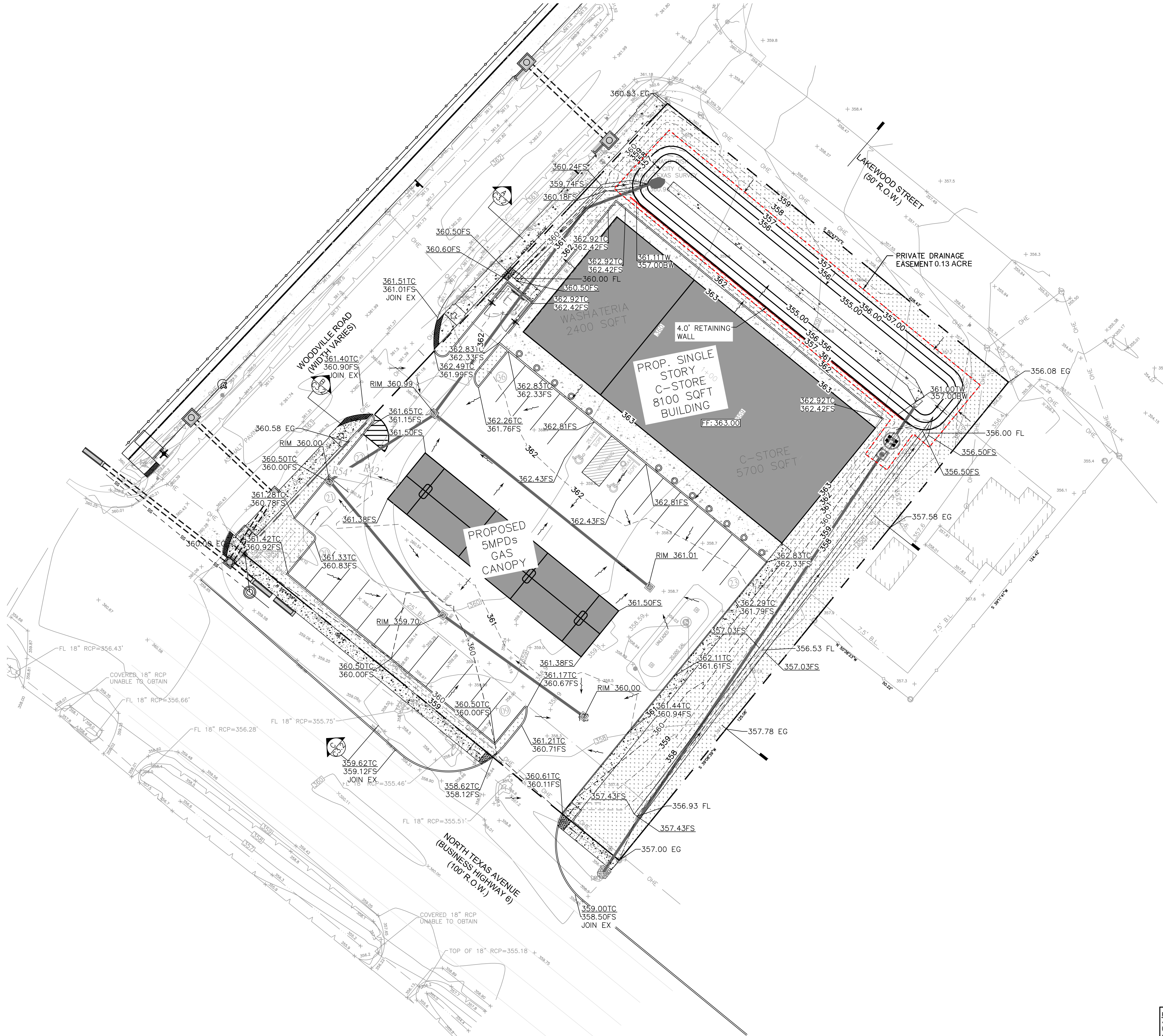
## SITE PLAN

DRAWING NUMBER:  
**C-2.0**



— MAKMO DESIGN - DESIGN WITH A DIFFERENT APPROACH —



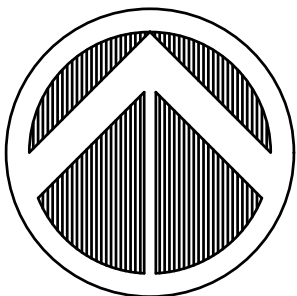


LEGEND

- PROPERTY LINE  
RETAINING WALL  
STORM DRAIN  
CATCH BASIN  
EX ELEVATIONS  
NEW ELEVATIONS  
SLOPES  
RIDGE LINE  
FS  
TC  
FF  
TG  
HP
- ---  
---  
X 111.9  
112.62 TC  
112.12 FG  
X  
R R  
FINISH SURFACE  
TOP OF CURB  
TOP OF CURB  
TOP GRATE  
HIGH POINT

GRADING PLAN NOTES

- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THE PROJECT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASE OF THE PROJECT.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE OWNER PRIOR TO PLACEMENT.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- CONSTRUCTION REVIEW, INSPECTION, AND OBSERVATION OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED AS A REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, OR NEAR THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS FROM AUTHORITIES AND REGULATORY AGENCIES HAVING JURISDICTION OVER THIS SITE, AS REQUIRED, PRIOR TO BEGINNING WORK.
- BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL COMPLY WITH THE EROSION CONTROL PLAN AND/OR PERMIT.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- TRAFFIC: MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES DURING EARTH MOVING OPERATIONS.
  - DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION.
  - PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY OWNER OR AUTHORITIES HAVING JURISDICTION.
- DO NOT CONDUCT WORK ON ADJOINING PROPERTY UNLESS DIRECTED BY ENGINEER.
- DO NOT COMMENCE EARTH-MOVING OPERATIONS UNTIL TEMPORARY EROSION- AND SEDIMENTATION-CONTROL MEASURES ARE IN PLACE.
- INSTALL DETECTABLE WARNING TAPE ABOVE CONSTRUCTED UTILITIES. DETECTABLE WARNING TAPE IS DEFINED AS: ACID- AND ALKALI-RESISTANT, POLYETHYLENE FILM WARNING TAPE MANUFACTURED FOR MARKING AND IDENTIFYING UNDERGROUND UTILITIES. A MINIMUM OF 6 INCHES WIDE AND 4 MILS THICK, CONTINUOUSLY INSCRIBED WITH A DESCRIPTION OF THE UTILITY, WITH METALLIC CORE ENCASED IN A PROTECTIVE JACKET FOR CORROSION PROTECTION, DETECTABLE BY METAL DETECTOR WHEN TAPE IS BURIED UP TO 30 INCHES DEEP; COLORED AS FOLLOWS:
  - RED: ELECTRIC.
  - YELLOW: GAS, OIL, STEAM, AND DANGEROUS MATERIALS.
  - ORANGE: TELEPHONE AND OTHER COMMUNICATIONS
  - BLUE: WATER SYSTEMS.
  - GREEN: SEWER SYSTEMS.
- PROTECT AND MAINTAIN EROSION AND SEDIMENTATION CONTROLS DURING EARTH MOVING OPERATIONS.
- PROTECT SUBGRADES AND FOUNDATION SOILS FROM FREEZING TEMPERATURES AND FROST. REMOVE TEMPORARY PROTECTION BEFORE PLACING SUBSEQUENT MATERIALS.
- IF EXCAVATED MATERIALS INTENDED FOR FILL AND BACKFILL INCLUDE UNSATISFACTORY SOIL MATERIALS AND ROCK, REPLACE WITH SATISFACTORY SOIL MATERIALS.
- EXCAVATE TO INDICATED ELEVATIONS AND DIMENSIONS WITHIN A TOLERANCE OF PLUS OR MINUS 1 INCH. IF APPLICABLE, EXTEND EXCAVATIONS A SUFFICIENT DISTANCE FROM STRUCTURES FOR PLACING AND REMOVING CONCRETE FORMWORK, FOR INSTALLING SERVICES AND OTHER CONSTRUCTION, AND FOR INSPECTIONS.
  - EXCAVATIONS FOR FOOTINGS AND FOUNDATIONS: DO NOT DISTURB BOTTOM OF EXCAVATION. EXCAVATE BY HAND TO FINAL GRADE JUST BEFORE PLACING CONCRETE REINFORCEMENT. TRIM BOTTOMS TO REQUIRED LINES AND GRADES TO LEAVE SOLID BASE TO RECEIVE OTHER WORK.
  - EXCAVATION FOR UNDERGROUND TANKS, BASINS, AND MECHANICAL OR ELECTRICAL UTILITY STRUCTURES: EXCAVATE TO ELEVATIONS AND DIMENSIONS INDICATED WITHIN A TOLERANCE OF PLUS OR MINUS 1 INCH. DO NOT DISTURB BOTTOM OF EXCAVATIONS INTENDED AS BEARING SURFACES.
- EXCAVATIONS AT EDGES OF TREE- AND PLANT-PROTECTION ZONES:
  - EXCAVATE BY HAND TO INDICATED LINES. GROSS SECTIONS, ELEVATIONS, AND SUBGRADES. USE NARROW-TINE SPADING FORKS TO COMB SOIL AND EXPOSE ROOTS. DO NOT BREAK, TEAR, OR CHOP EXPOSED ROOTS. DO NOT USE MECHANICAL EQUIPMENT THAT RIPS, TEARS, OR PULLS ROOTS.
- GENERAL: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED.
  - PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES.
  - CUT OUT SOFT SPOTS, FILL LOW SPOTS, AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED SURFACE TOLERANCES.
- SITE ROUGH GRADING. SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING.



NORTH



FLOODPLAIN INFORMATION  
According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Map No. 48201C0895N with the effective date of 05-02-2019, the property is located in Flood Zone "X". Areas determined to be outside of the regulated floodway. All Floodplain information noted in the plat reflects the status per the FEMA FIRM map that is effective at the time that the plat is recorded. Floodplain and Floodway status is subject to change as FEMA FIRM maps are updated.

ISSUE FOR:

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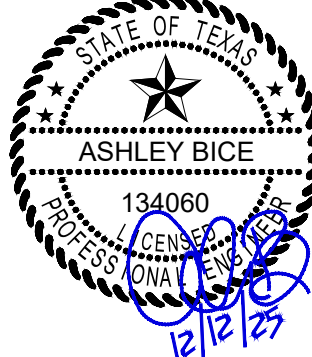
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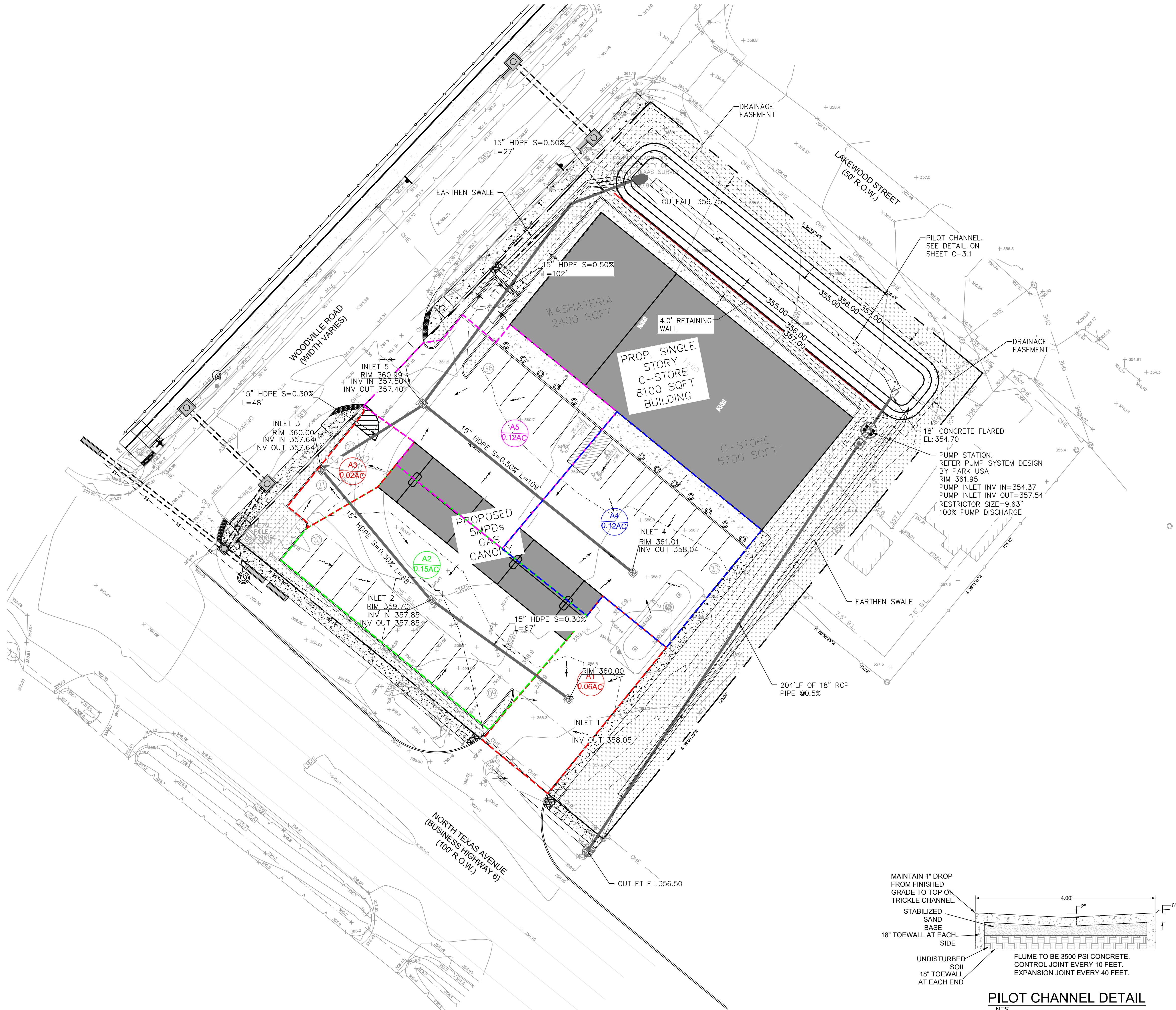
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SCALE :  
DRAWN BY : R.R.  
CHECKED BY : A.Z  
SHEET TITLE :

GRADING PLAN

DRAWING NUMBER:

C-3.0





LEGEND

- PROPERTY LINE  
STORM DRAIN  
CATCH BASIN  
EX ELEVATIONS  
NEW ELEVATIONS  
SLOPES  
FS  
TC  
FF  
TG
- 111.9  
112.62 TC  
112.12 FG  
FINISH SURFACE  
TOP OF CURB  
TOP OF CURB  
TOP GRATE

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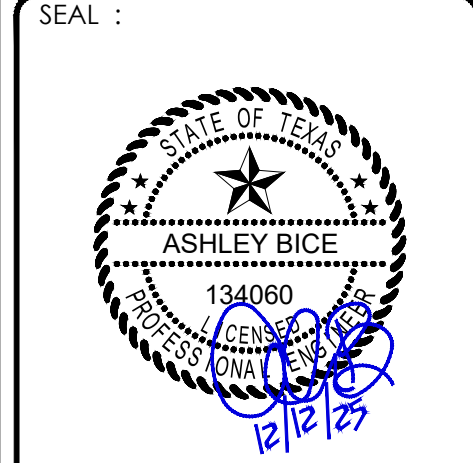
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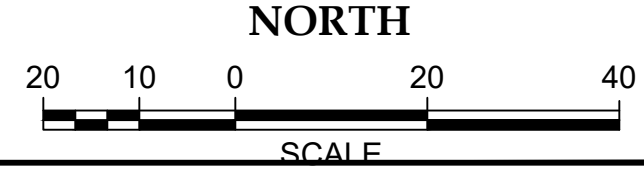
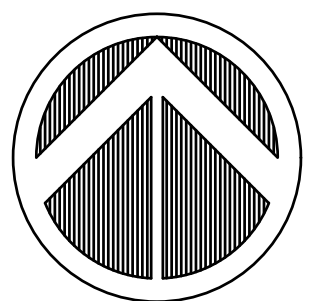
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| CHECKED BY     | : A.Z    |
| SHEET TITLE    | :        |

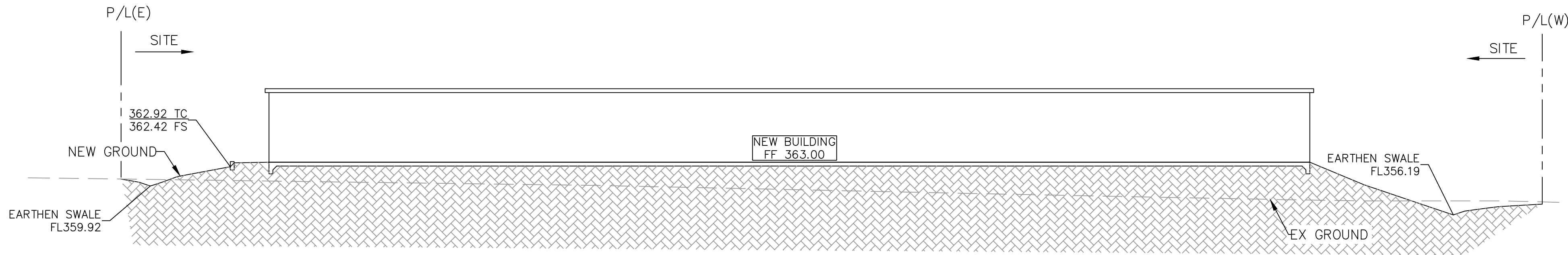
DRAINAGE  
PLAN

DRAWING NUMBER:

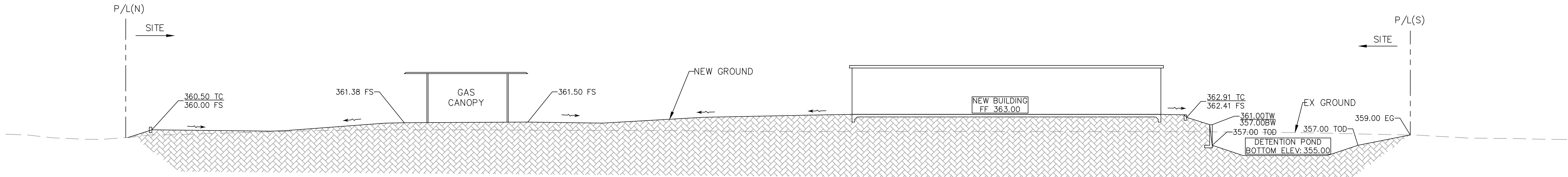
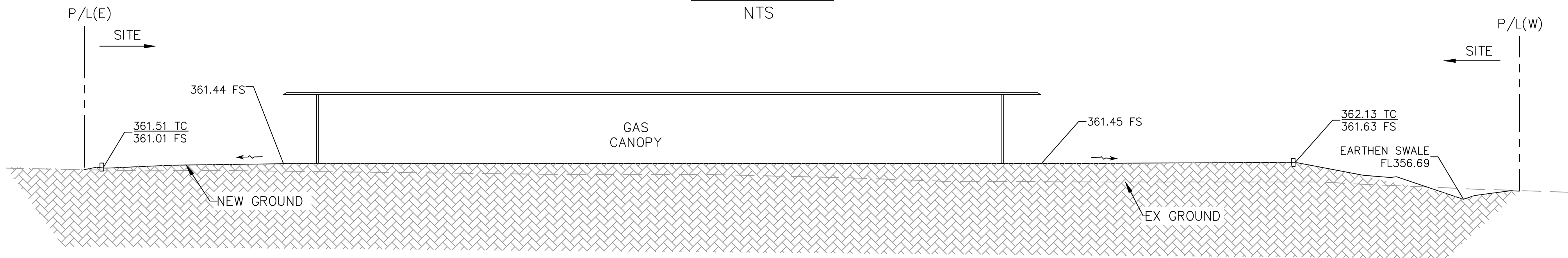
C-3.1







| LEGEND          |                       |
|-----------------|-----------------------|
| NEW GROUND      | —————                 |
| EXISTING GROUND | -----                 |
| EG              | EXISTING GROUND       |
| FF              | FINISH FLOOR          |
| FS              | FINISH SURFACE        |
| TC              | TOP OF CURB           |
| TOD             | TOP OF DETENTION POND |



| STORM SEWER CALCULATION FORM                                                   |         |      |      |       |       |       |       |        |      |       |      |        |       |        |      |          |          |                |              |                |                |             |         |
|--------------------------------------------------------------------------------|---------|------|------|-------|-------|-------|-------|--------|------|-------|------|--------|-------|--------|------|----------|----------|----------------|--------------|----------------|----------------|-------------|---------|
| PROJECT: 4311 N TEXAS AVE, BRYAN                                               |         |      |      |       |       |       |       |        |      |       |      |        |       |        |      |          | b        | d              | e            | C              |                |             |         |
| DATE: JULY, 2025                                                               |         |      |      |       |       |       |       |        |      |       |      |        |       |        |      |          | 86.311   | 10.7919        | 0.7141       | 0.73           |                |             |         |
| BASED ON INTENSITY DURATION CURVE (NOAA ATLAS 14)-FOR 100YR RAINFALL FREQUENCY |         |      |      |       |       |       |       |        |      |       |      |        |       |        |      |          |          |                |              |                |                |             |         |
| MH OR INLET                                                                    |         |      | AREA |       |       |       |       |        |      | LINE  |      |        |       | DESIGN |      | FLOWLINE |          |                | FRICTIO<br>N | HEAD<br>LOSS   | HGL UP         | HGL<br>DOWN |         |
| FROM                                                                           | TO      | AREA | INCR | TOTAL | REACH | T     | I     | "CI"   | Q    | GRADE | SIZE | AREA   | "N"   | R      | V    | Q        | UPSTREAM | DOWNST<br>REAM | FALL         | S <sub>f</sub> | H <sub>f</sub> |             |         |
|                                                                                |         | AC   | AC   | AC    | FEET  | MIN   | IN/HR |        | CFS  | %     | IN   | SQFT   | VALUE | IN     | FPS  | CFS      |          |                | FT           |                |                |             |         |
| INLET 1                                                                        | INLET 2 | A1   | 0.06 | 0.06  | 67    | 21.09 | 7.28  | 5.3171 | 0.32 | 0.30  | 15   | 1.2277 | 0.012 | 0.31   | 3.42 | 4.19     | 358.05   | 357.85         | 0.20         | 0.000021       | 0.0014         | 358.178     | 358.177 |
| INLET 2                                                                        | INLET 3 | A2   | 0.15 | 0.21  | 68    | 22.60 | 7.05  | 5.1450 | 1.08 | 0.30  | 15   | 1.2277 | 0.012 | 0.31   | 3.42 | 4.19     | 357.85   | 357.64         | 0.21         | 0.000239       | 0.0162         | 358.177     | 358.161 |
| INLET 3                                                                        | INLET 5 | A3   | 0.02 | 0.23  | 48    | 22.72 | 7.03  | 5.1315 | 1.18 | 0.30  | 15   | 1.2277 | 0.012 | 0.31   | 3.42 | 4.19     | 357.64   | 357.50         | 0.14         | 0.000285       | 0.0137         | 358.161     | 358.147 |
| INLET 4                                                                        | INLET 5 | A4   | 0.12 | 0.12  | 109   | 21.88 | 7.16  | 5.2249 | 0.63 | 0.50  | 15   | 1.2277 | 0.012 | 0.31   | 4.41 | 5.41     | 358.04   | 357.50         | 0.55         | 0.000080       | 0.0088         | 358.156     | 358.147 |
| INLET 5                                                                        | OUTFALL | A5   | 0.12 | 0.47  | 129   | 23.76 | 6.88  | 5.0212 | 2.36 | 0.50  | 15   | 1.2277 | 0.012 | 0.31   | 4.41 | 5.41     | 357.40   | 356.75         | 0.64         | 0.001139       | 0.1469         | 358.147     | 358.000 |
| TAILWATER ELEV                                                                 |         |      |      |       |       |       |       |        |      |       |      |        |       |        |      |          |          |                |              | 358.00         |                |             |         |

| PRE-DEV. RUNOFF COFF. |        |        |       |
|-----------------------|--------|--------|-------|
| TOTAL CATCHMENT       | AREA   | 46,676 | SQ.FT |
| ASPHALT               | 2,080  | C=     | 0.9   |
| CONCRETE              | 5,754  | C=     | 0.9   |
| GRAVEL                | 855    | C=     | 0.7   |
| ROOF                  | 3,485  | C=     | 0.75  |
| LANDSCAPE             | 34,502 | C=     | 0.35  |
| COM. C                |        | 0.48   |       |

| POST-DEV. RUNOFF COFF. |        |        |       |
|------------------------|--------|--------|-------|
| TOTAL CATCHMENT        | AREA   | 46,676 | SQ.FT |
| CONCRETE               | 19,914 | C=     | 0.9   |
| ROOF                   | 10,500 | C=     | 0.75  |
| LANDSCAPE              | 11,262 | C=     | 0.35  |
| POND                   | 5,000  | C=     | 0.9   |
| COM. C                 |        | 0.73   |       |

| Detention Pond Storage Summary with Peak Flows – City of Bryan, TX Project |                      |                       |                    |                     |                  |                     |
|----------------------------------------------------------------------------|----------------------|-----------------------|--------------------|---------------------|------------------|---------------------|
| Return Period                                                              | Pre-Dev Volume (ft³) | Post-Dev Volume (ft³) | Pre-Dev Peak (cfs) | Post-Dev Peak (cfs) | Difference (ft³) | +10% Sediment (ft³) |
| 2-yr                                                                       | 9,832                | 12,973                | 4.04               | 5.38                | 3,141            | 3,455               |
| 10-yr                                                                      | 19,058               | 22,674                | 7.65               | 9.08                | 3,616            | 3,978               |
| 25-yr                                                                      | 26,358               | 30,128                | 10.39              | 11.86               | 3,770            | 4,147               |
| 50-yr                                                                      | 32,777               | 36,606                | 12.76              | 14.26               | 3,829            | 4,212               |
| 100-yr                                                                     | 40,487               | 44,334                | 15.56              | 17.09               | 3,847            | 4,232               |

| STORM SEWER CALCULATION FORM                                                  |         |      |            |             |               |          |            |        |          |            |            |              |              |         |          |          |          |                |              |                |                |             |         |
|-------------------------------------------------------------------------------|---------|------|------------|-------------|---------------|----------|------------|--------|----------|------------|------------|--------------|--------------|---------|----------|----------|----------|----------------|--------------|----------------|----------------|-------------|---------|
| PROJECT: 4311 N TEXAS AVE, BRYAN                                              |         |      |            |             |               |          |            |        |          |            |            |              |              |         |          | b        | d        | c              | C            |                |                |             |         |
| DATE: JULY, 2025                                                              |         |      |            |             |               |          |            |        |          |            |            |              |              |         |          | 76.3373  | 11.8888  | 0.7721         | 0.69         |                |                |             |         |
| BASED ON INTENSITY DURATION CURVE (NOAA ATLAS 14)-FOR 10YR RAINFALL FREQUENCY |         |      |            |             |               |          |            |        |          |            |            |              |              |         |          |          |          |                |              |                |                |             |         |
| MH OR INLET                                                                   |         |      | AREA       |             |               |          |            |        |          | LINE       |            |              |              | DESIGN  |          | FLOWLINE |          |                | FRICTIO<br>N | HEAD<br>LOSS   | HGL UP         | HGL<br>DOWN |         |
| FROM                                                                          | TO      | AREA | INCR<br>AC | TOTAL<br>AC | REACH<br>FEET | T<br>MIN | I<br>IN/HR | "CI"   | Q<br>CFS | GRADE<br>% | SIZE<br>IN | AREA<br>SQFT | "N"<br>VALUE | R<br>IN | V<br>FPS | Q<br>CFS | UPSTREAM | DOWNST<br>REAM | FALL<br>FT   | S <sub>f</sub> | H <sub>f</sub> |             |         |
| INLET 1                                                                       | INLET 2 | A1   | 0.06       | 0.06        | 67            | 21.09    | 5.13       | 3.5426 | 0.21     | 0.30       | 15         | 1.2277       | 0.012        | 0.31    | 3.42     | 4.19     | 358.05   | 357.85         | 0.20         | 0.000009       | 0.0006         | 357.479     | 357.478 |
| INLET 2                                                                       | INLET 3 | A2   | 0.15       | 0.21        | 68            | 22.60    | 4.96       | 3.4227 | 0.72     | 0.30       | 15         | 1.2277       | 0.012        | 0.31    | 3.42     | 4.19     | 357.85   | 357.64         | 0.21         | 0.000106       | 0.0071         | 357.478     | 357.471 |
| INLET 3                                                                       | INLET 5 | A3   | 0.02       | 0.23        | 48            | 22.72    | 4.95       | 3.4134 | 0.79     | 0.30       | 15         | 1.2277       | 0.012        | 0.31    | 3.42     | 4.19     | 357.64   | 357.50         | 0.14         | 0.000126       | 0.0061         | 357.471     | 357.465 |
| INLET 4                                                                       | INLET 5 | A4   | 0.12       | 0.12        | 109           | 21.88    | 5.04       | 3.4784 | 0.42     | 0.50       | 15         | 1.2277       | 0.012        | 0.31    | 4.41     | 5.41     | 358.04   | 357.50         | 0.55         | 0.000036       | 0.0039         | 357.469     | 357.465 |
| INLET 5                                                                       | OUTFALL | A5   | 0.12       | 0.47        | 129           | 23.76    | 4.84       | 3.3366 | 1.57     | 0.50       | 15         | 1.2277       | 0.012        | 0.31    | 4.41     | 5.41     | 357.40   | 356.75         | 0.64         | 0.000503       | 0.0649         | 357.465     | 357.400 |
|                                                                               |         |      |            |             |               |          |            |        |          |            |            |              |              |         |          |          |          |                |              | TAILWATER ELEV |                | 357.40      |         |

| DETENTION POND STAGE STORAGE |           |              |                        |                    |
|------------------------------|-----------|--------------|------------------------|--------------------|
| STAGE                        | ELEVATION | CONTOUR AREA | INCREMENTAL STORAGE CF | TOTAL STORAGE (CF) |
| 0                            | 355       | 2,400        | 0                      | 0                  |
| 1                            | 356       | 3,391        | 2,881                  | 2,881              |
| 2                            | 357       | 4,440        | 3,904                  | 6,785              |

| RESTRICTOR SIZING CALCULATIONS        |   |                    |
|---------------------------------------|---|--------------------|
| Q                                     | = | CA * (√2gh)F       |
| D                                     | = | Q1/2 / (2.25*h1/4) |
| C (COEFFICIENT OF DISCHARGE)          | = | 0.80               |
| RESTRICTOR SIZING                     |   |                    |
| A = TOTAL DRAINAGE AREA               | = | 1.07 AC            |
| Q1, (OUTFLOW RATE ALLOWED)            | = |                    |
|                                       | = | 15.56 CFS          |
| HEAD                                  | = | 1.97 Ft            |
| CALCULATED RESTRICTOR SIZE            | = | 1.4798 Ft          |
|                                       | = | 17.80 IN           |
| PROVIDED RESTRICTOR SIZE              | = | 17.80 IN           |
| ACTUAL OUTFLOW OF RESTRICTOR - 100 YR | = | 15.56 CFS          |

|                  |                                     |
|------------------|-------------------------------------|
| ISSUE FOR:       |                                     |
| BID ONLY         | <input type="checkbox"/>            |
| PERMITS SET      | <input type="checkbox"/>            |
| CONSTRUCTION SET | <input checked="" type="checkbox"/> |

| REVISIONS: |      |             |
|------------|------|-------------|
| NO.        | DATE | DESCRIPTION |
|            |      |             |
|            |      |             |
|            |      |             |
|            |      |             |



LEGAL DESCRIPTION:  
TOPOGRAPHY SURVEY OF LOTS 1, 2, 3, 4, 7, 8, BLOCK 1  
MARGARET WALLACE SUBDIVISION  
VOLUME 138, PAGE 573, B.C.P.R.  
LOCATED IN THE MOSES BAINE LEAGUE, A-3,  
BRAZOS COUNTY, TEXAS  
  
LOT AREA:  
1.072 ACRES (46,676.04 SQ. FT.)  
  
PROPERTY OWNER CONTACT INFORMATION:  
OWNER NAME: NAZARANA PROPERTIES INC.  
PHONE: (979) 450-3350  
EMAIL: asifumatiya@gmail.com

PROP – LAMPO’S GROCERY  
LOCATED AT  
4311 N TEXAS AVE, BRYAN, TX 77803

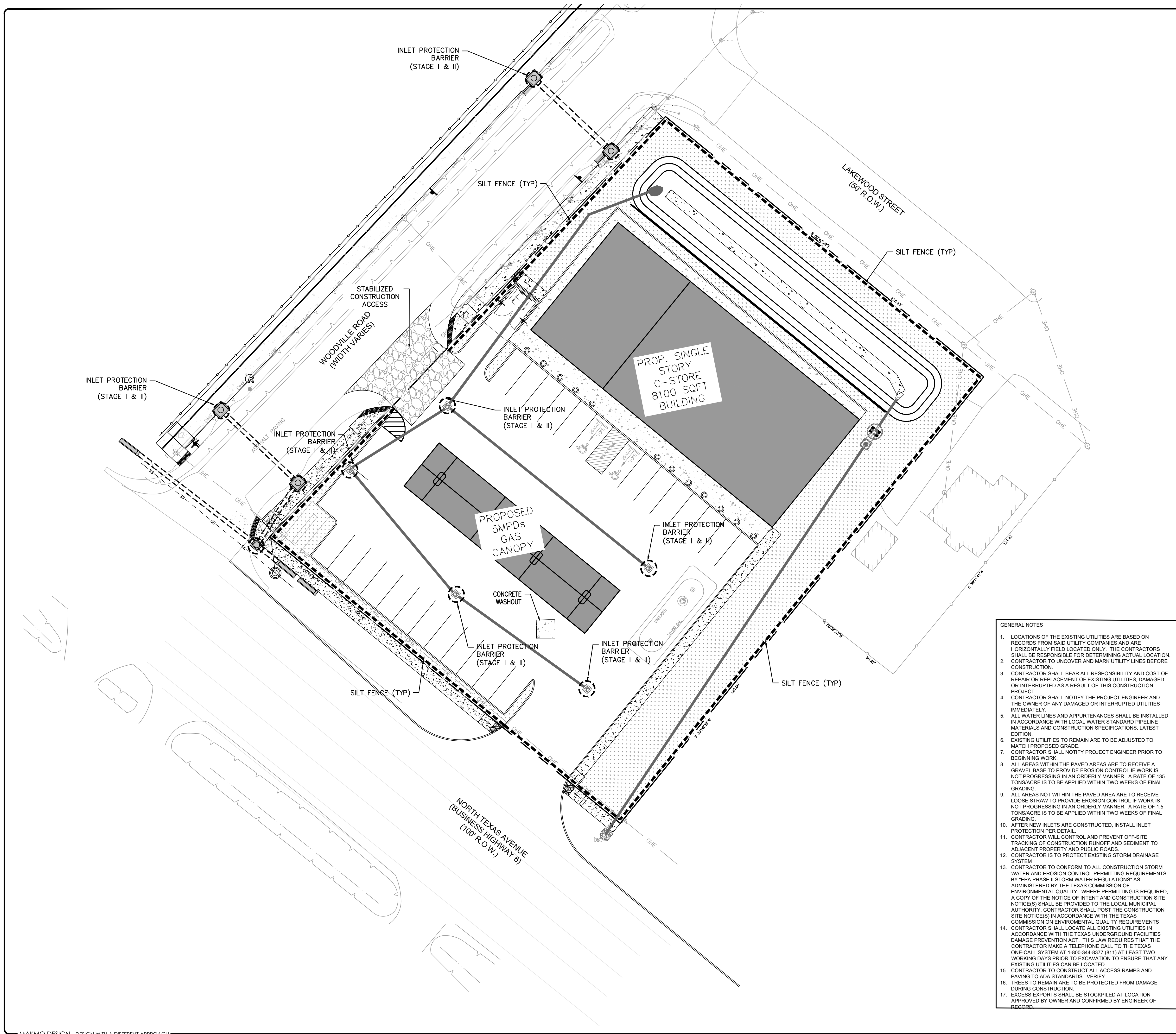


|                  |            |
|------------------|------------|
| DATE:            | 03/06/2025 |
| PROJECT NUMBER : | 25-006     |
| SCALE :          |            |
| DRAWN BY :       | R.R.       |
| CHECKED BY :     | A.Z        |
| SHEET TITLE :    |            |

SITE SECTIONS  
& DRAINAGE  
CALCULATIONS

|                 |       |
|-----------------|-------|
| DRAWING NUMBER: | C-3.2 |
|-----------------|-------|



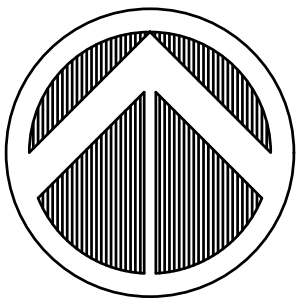


**EROSION CONTROL LEGEND**

- STABILIZED CONSTRUCTION ENTRANCE
- INLET PROTECTION BARRIER (STAGE I & STAGE II)
- RIPRAP OUTLET PROTECTION
- SILT FENCE (MIN. 2' FROM BOC)
- CONCRETE WASHOUT AREA
- SURFACE FLOW

- EROSION CONTROL NOTES**
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE A MINIMUM OF 4-INCHES OF TOPSOIL AND 2-INCHES OF COMPOST (FOR A TOTAL OF 6-INCHES) AND SOD OR SEED (AS INDICATED). THESE AREAS SHALL BE WATERED BY THE CONTRACTOR UNTIL THE SOD OR SEED IS GROWING IN A HEALTHY MANNER. SEE LANDSCAPE PLANS FOR MORE REQUIREMENTS.
  - THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASE OF THE PROJECT.
  - THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. THESE DEVICES AND THEIR PLACEMENT SHALL BE APPROVED BY THE OWNER PRIOR TO PLACEMENT.
  - IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
  - THE DUTY OF THE OWNER (OR OWNER'S REPRESENTATIVE) TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN OR NEAR THE CONSTRUCTION SITE.
  - BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL INSTALL A TEMPORARY ROCK ENTRANCE PAD AT ALL POINTS OF VEHICLE EXIT FROM THE SITE. SAID ROCK ENTRANCE PADS SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.
  - EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE ESTABLISHED AROUND THE ENTIRE PERIMETER AND IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES AND THE PROJECT DETAILS.
  - EROSION CONTROL MEASURES SHALL BE IMMEDIATELY ESTABLISHED UPON COMPLETION OF CLEARING AND GRUBBING.
  - THE INTENDED SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES IS AS FOLLOWS:
    - a. INSTALL SILT FENCE AROUND THE PERIMETER OF THE SITE, AND THE ROCK CONSTRUCTION ENTRANCE(S).
    - b. INSTALL SILT FENCE AND INLET PROTECTION AROUND, AND WITHIN, ALL STRUCTURES.
    - c. CLEAR AND GRUB.
    - d. SURFACE FEATURE REMOVALS.
    - e. ROUGH GRADING OF THE SITE.
    - f. STABILIZE DENUDED AREAS AND STOCKPILES.
    - g. FINE GRADING OF THE SITE.
    - h. INSTALL TOPSOIL, COMPOST AND SEED.
    - i. REMOVE ACCUMULATED SEDIMENT FROM STRUCTURES.
    - j. WHEN ALL CONSTRUCTION ACTIVITIES ARE COMPLETE AND THE SITE IS STABILIZED, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL WITHIN 30-DAYS OF FINAL STABILIZATION.
  - THE LOCATION OF THE AREAS NOT TO BE DISTURBED MUST BE IDENTIFIED WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC. BEFORE CONSTRUCTION BEGINS.
  - ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
  - SOLID WASTE MUST BE DISPOSED OF PROPERLY AND COMPLY WITH THE GOVERNING AGENCY'S DISPOSAL REQUIREMENTS.
  - EXTERNAL WASHING OF CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. THE AREA MUST BE IN A CONTAINED LOCATION WITH A LINER. WASHOUT TO BE REMOVED AND PROPERLY DISPOSED OF FOLLOWING ALL APPLICABLE REGULATIONS. UNDER NO CIRCUMSTANCES SHALL EQUIPMENT BE ALLOWED TO WASH OFF FRESH CONCRETE IN THE STREET OR IN ANY AREA WHERE THE WASHOUT MATERIAL WILL ENTER A WETLAND OR DRAINAGEWAY. CONCRETE WASHOUT WATER SHALL NOT BE DISCHARGED INTO WATER/STORM SYSTEMS.
  - NO ENGINE DEGREASING IS ALLOWED ON SITE.
  - SILT FENCE REQUIRED MAINTENANCE SHALL BE AS FOLLOWS: "WHEN SEDIMENT REACHES 1/3 THE HEIGHT OF THE SILT FENCE FABRIC, THE SEDIMENT MUST BE REMOVED WITHIN 24-HOURS. "REPAIR OR REPLACE DYSFUNCTIONAL SILT FENCE WITHIN 24-HOURS."
  - THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS FROM AUTHORITIES AND REGULATORY AGENCIES HAVING JURISDICTION OVER THIS SITE, AS REQUIRED, PRIOR TO BEGINNING WORK.
  - AFTER CONSTRUCTION BEGINS, SOIL SURFACE STABILIZATION SHALL BE APPLIED WITHIN 7-DAYS TO ALL DISTURBED AREAS THAT MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN UNDISTURBED FOR PERIODS LONGER THAN AN ADDITIONAL 21 CALENDAR DAYS.
  - WITHIN 7-DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE, PERMANENT OR TEMPORARY SOIL SURFACE STABILIZATION SHALL BE APPLIED TO DISTURBED AREAS AND SOIL STOCKPILES.
  - ALL DISTURBED GROUND LEFT INACTIVE FOR 7 DAYS OR MORE MUST BE STABILIZED BY SEEDING, SODDING OR MULCHING. TYPE OF SLOPE DAYS TO STABILIZE STEEPER THAN 3:1 7 DAYS 10:1 TO 3:1 7 DAYS FLATTER THAN 10:1 7 DAYS
  - WHEN STABILIZATION MEASURES ARE STOPPED DUE TO SNOW COVER OR ARID CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE. SOIL STABILIZATION MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO SURFACE ROUGHENING, TEMPORARY OR PERMANENT VEGETATION, MULCHING, SODDING, LANDSCAPING AND EROSION CONTROL BLANKETS.
  - STABILIZATION MEASURES TO BE USED SHALL BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS AND ESTIMATED DURATION OF USE.
  - EXISTING TURF OUTSIDE OF THE CONSTRUCTION LIMITS SHALL NOT BE DISTURBED. ANY TURF SHALL BE RE-ESTABLISHED.
  - ALL STREETS AND PARKING LOTS ADJACENT TO THE SITE SHALL BE CLEANED AND/OR SWEEPED AT THE END OF EACH WORKING DAY.
  - WHEN STABILIZATION MEASURES ARE STOPPED DUE TO SNOW COVER, STABILIZATION MEASURES SHALL BE RE-INITIATED AS SOON AS POSSIBLE. STABILIZATION MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO: TEMPORARY OR PERMANENT VEGETATION, MULCHING, SODDING, LANDSCAPING AND EROSION CONTROL BLANKETS.
  - TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING THE CONSTRUCTION PHASE AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.
  - EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN PLACE UNTIL PERMANENT REVEGETATION IS ESTABLISHED.
  - CONTRACTOR TO LOCATE A CONCRETE WASHOUT AREA ON THE PROJECT SITE PRIOR TO BEGINNING WORK.

- GENERAL NOTES**
- LOCATIONS OF THE EXISTING UTILITIES ARE BASED ON RECORDS FROM SAID UTILITY COMPANIES AND ARE HORIZONTALLY FIELD LOCATED ONLY. THE CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL LOCATION.
  - CONTRACTOR TO UNCOVER AND MARK UTILITY LINES BEFORE CONSTRUCTION.
  - CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COST OF REPAIR OR REPLACEMENT OF EXISTING UTILITIES, DAMAGED OR INTERRUPTED AS A RESULT OF THIS CONSTRUCTION PROJECT.
  - CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE OWNER OF ANY DAMAGED OR INTERRUPTED UTILITIES IMMEDIATELY.
  - ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL WATER STANDARD PIPELINE MATERIALS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
  - EXISTING UTILITIES TO REMAIN ARE TO BE ADJUSTED TO MATCH PROPOSED GRADE.
  - CONTRACTOR SHALL NOTIFY PROJECT ENGINEER PRIOR TO BEGINNING WORK.
  - ALL AREAS WITHIN THE PAVED AREAS ARE TO RECEIVE A GRAVEL BASE TO PROVIDE EROSION CONTROL. IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER, A RATE OF 1.5 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
  - ALL AREAS NOT WITHIN THE PAVED AREA ARE TO RECEIVE LOOSE STRAW TO PROVIDE EROSION CONTROL. IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER, A RATE OF 1.5 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
  - AFTER NEW INLETS ARE CONSTRUCTED, INSTALL INLET PROTECTION PER DETAIL.
  - CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC ROADS.
  - CONTRACTOR IS TO PROTECT EXISTING STORM DRAINAGE SYSTEM.
  - CONTRACTOR TO CONFORM TO ALL CONSTRUCTION STORM WATER AND EROSION CONTROL PERMITTING REQUIREMENTS BY "EPA PHASE II STORM WATER REGULATIONS" AS ADMINISTERED BY THE TEXAS COMMISSION OF ENVIRONMENTAL QUALITY. WHERE PERMITTING IS REQUIRED, A COPY OF THE NOTICE OF INTENT AND CONSTRUCTION SITE NOTICE(S) SHALL BE PROVIDED TO THE LOCAL MUNICIPAL AUTHORITY. CONTRACTOR SHALL POST THE CONSTRUCTION SITE NOTICE(S) IN ACCORDANCE WITH THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY REQUIREMENTS.
  - CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN ACCORDANCE WITH THE TEXAS UNDERGROUND FACILITIES DAMAGE PREVENTION ACT. THIS LAW REQUIRES THAT THE CONTRACTOR MAKE A TELEPHONE CALL TO THE TEXAS ONE-CALL SYSTEM AT 1-800-344-8377 (811) AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION TO ENSURE THAT ANY EXISTING UTILITIES CAN BE LOCATED.
  - CONTRACTOR TO CONSTRUCT ALL ACCESS RAMPS AND PAVING TO ADA STANDARDS. VERIFY.
  - TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
  - EXCESS EXPORTS SHALL BE STOCKPILED AT LOCATION APPROVED BY OWNER AND CONFIRMED BY ENGINEER OF RECORD.



**ISSUE FOR:**

FOR INTER REVIEW ONLY  
BID ONLY  
PERMITS SET  
CONSTRUCTION SET

**REVISIONS:**

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |

**MAKMO DESIGN**  
86 ZENITH LANE, SUGAR LAND, TX 77498  
PH # 832-231-7047 TBE FIRM # 21236

**LEGAL DESCRIPTION:**  
TOPOGRAPHY SURVEY OF LOTS 1, 2, 3, 4, 7, 8, BLOCK 1  
MARGARET WALLACE SUBDIVISION  
VOLUME 138, PAGE 573, B.C.P.R.  
LOCATED IN THE MOSES BAINE LEAGUE, A-3,  
BRAZOS COUNTY, TEXAS

**LOT AREA:**  
1.072 ACRES (46,676.04 SQ. FT.)

**PROPERTY OWNER CONTACT INFORMATION:**  
OWNER NAME: NAZARANA PROPERTIES INC.  
PHONE: (979) 450-3350  
EMAIL: asifumathy@gmail.com

PROP – LAMPO'S GROCERY  
LOCATED AT  
4311 N TEXAS AVE, BRYAN, TX 77803

**SEAL :**

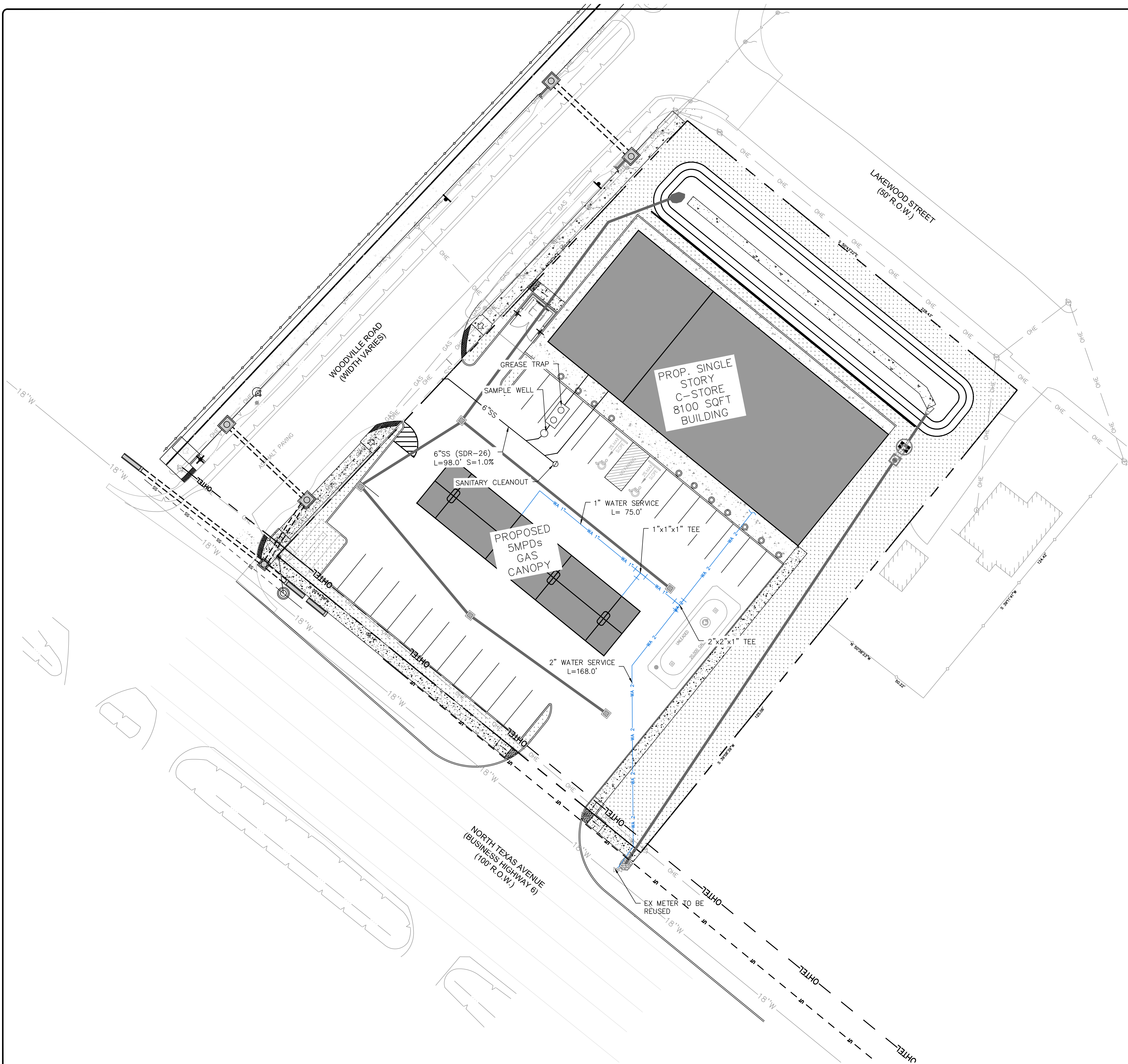
DATE: 03/06/2025

PROJECT NUMBER : 25-006  
SCALE :  
DRAWN BY : R.R.  
CHECKED BY : A.Z.  
SHEET TITLE :

**EROSION CONTROL PLAN**

DRAWING NUMBER:  
**C-4.0**





- SEWER NOTES:
- SANITARY SEWER PIPE TO BE SCH. 40 (PVC) FOR 6" OR LESS AND SDR-35 (PVC) FOR 8" MEETING ASTM SPECIFICATIONS D1785 & D2665 UNLESS OTHERWISE NOTED.
  - ALL SEWERS SHALL HAVE CLASS A BEDDING IN ACCORDANCE WITH BRYAN CITY.
  - ALL SANITARY SEWERS CROSSING ABOVE OR BELOW WATERLINES WITH 6 INCHES TO 9 FEET CLEARANCE SHALL HAVE A 20" JOINT OF 150 PSI AWWA C-900 SDR-18 P.V.C. SANITARY SEWER PIPE CENTERED ON WATERLINE, EXCEPT WHERE DUCTILE IRON PIPE IS USED.
  - SANITARY SEWER MANHOLE RIMS OUTSIDE OF PROPOSED PAVING WILL BE SET 3'-4" ABOVE THE SURROUNDING LEVEL FINISHED GRADE AFTER PAVING WITH SLOPED BACKFILL ADDED FOR STORM WATER DRAINAGE AWAY FROM MANHOLE RIM.
  - PRIVATE SANITARY SEWERS ARE TO BE PRIVATELY OWNED, OPERATED AND MAINTAINED BY SERVICED PROPERTY OWNER.

- WATER NOTES:
- WATER MAINS/METER CONSTRUCTION SHALL BE IN ACCORDANCE WITH BRYAN CITY FOR WATER MAIN CONSTRUCTION AND MATERIALS AND SPECIFICATION FOR WATER TAPS AND SERVICE LINES 3/4" THROUGH 2", AND FOR LARGE METERS AND SPRINKLER CONNECTIONS WITH LATEST ADDENDA AND AMENDMENTS THERETO.
  - 1 1/2" THRU 3" WATER MAIN SHALL BE SCH. 40 PVC PIPE.
  - ALL WATER MAINS SHALL HAVE 8" OF BANK SAND ENVELOPE AND SHALL BE BACKFILLED TO A MINIMUM COMPACTED DEPTH OF 6" OVER THE TOP OF THE PIPE TO PROVIDE A COMPACTED ENCASEMENT.
  - CONTRACTOR SHALL PROVIDE FOR A MINIMUM HORIZONTAL CLEARANCE OF 9' (NINE FEET) AND MINIMUM 2' (TWO FEET) BETWEEN OUTSIDE OF WATERLINES AND OUTSIDE EDGE OF SANITARY SEWER MANHOLES OR LINES.
  - CONTRACTOR SHALL PROVIDE ADEQUATE THRUST BLOCKING TO WITHSTAND TEST PRESSURE SPECIFIED IN SPECIFICATION FOR WATER MAIN CONSTRUCTION AND MATERIALS WITH LATEST ADDENDA AND AMENDMENTS THERETO.
  - ALL WATERLINES TO BE DISINFECTED IN CONFORMANCE WITH AWWA C-651
  - BACKFLOW PREVENTION DEVICE MUST BE INSTALLED ON IRRIGATION WATER METER. CONTRACTOR SHALL INSTALL DEVICE APPROVED FOR USE BY BRYAN CITY.

- UNDERGROUND FIRE LINES MUST BE SUBMITTED TO FIRE PROTECTION GROUP FOR REVIEW AND A NOTIFICATION OF CONSTRUCTION IN RIGHT OF WAY PERMIT WILL BE REQUIRED FOR THE PROPOSED WORK WITHIN HARRIS COUNTY RIGHT-OF-WAY.
- GENERAL NOTES
- LOCATIONS OF THE EXISTING UTILITIES ARE BASED ON RECORDS FROM SAID UTILITY COMPANIES AND ARE HORIZONTALLY FIELD LOCATED ONLY. THE CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL LOCATION.
  - CONTRACTOR TO UNCOVER AND MARK UTILITY LINES BEFORE CONSTRUCTION.
  - CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COST OF REPAIR OR REPLACEMENT OF EXISTING UTILITIES, DAMAGED OR INTERRUPTED AS A RESULT OF THIS CONSTRUCTION PROJECT.
  - CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE OWNER OF ANY DAMAGED OR INTERRUPTED UTILITIES IMMEDIATELY.
  - ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL WATER STANDARD PIPELINE MATERIALS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
  - EXISTING UTILITIES TO REMAIN ARE TO BE ADJUSTED TO MATCH PROPOSED GRADE.
  - CONTRACTOR SHALL NOTIFY PROJECT ENGINEER PRIOR TO BEGINNING WORK.
  - ALL AREAS WITHIN THE PAVED AREAS ARE TO RECEIVE A GRAVEL BASE TO PROVIDE EROSION CONTROL IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 135 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
  - ALL AREAS NOT WITHIN THE PAVED AREA ARE TO RECEIVE LOOSE STRAW TO PROVIDE EROSION CONTROL IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 1.5 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
  - AFTER NEW INLETS ARE CONSTRUCTED, INSTALL INLET PROTECTION PER DETAIL.
  - CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC ROADS.
  - CONTRACTOR IS TO PROTECT EXISTING STORM DRAINAGE SYSTEM
  - CONTRACTOR TO CONFORM TO ALL CONSTRUCTION STORM WATER AND EROSION CONTROL PERMITTING REQUIREMENTS BY "EPA PHASE II STORM WATER REGULATIONS" AS ADMINISTERED BY THE TEXAS COMMISSION OF ENVIRONMENTAL QUALITY. WHERE PERMITTING IS REQUIRED, A COPY OF THE NOTICE OF INTENT AND CONSTRUCTION SITE NOTICE(S) SHALL BE PROVIDED TO THE LOCAL MUNICIPAL AUTHORITY. CONTRACTOR SHALL POST THE CONSTRUCTION SITE NOTICE(S) IN ACCORDANCE WITH THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY REQUIREMENTS
  - CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN ACCORDANCE WITH THE TEXAS UNDERGROUND FACILITIES DAMAGE PREVENTION ACT. THIS LAW REQUIRES THAT THE CONTRACTOR MAKE A TELEPHONE CALL TO THE TEXAS ONE-CALL SYSTEM AT 1-800-344-8377 (811) AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION TO ENSURE THAT ANY EXISTING UTILITIES CAN BE LOCATED.
  - CONTRACTOR TO CONSTRUCT ALL ACCESS RAMPS AND PAVING TO ADA STANDARDS. VERIFY.
  - TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
  - EXCESS EXPORTS SHALL BE STOCKPILED AT LOCATION APPROVED BY OWNER AND CONFIRMED BY ENGINEER OF RECORD.

ISSUE FOR:

FOR INTER REVIEW ONLY  
BID ONLY  
PERMITS SET  
CONSTRUCTION SET

REVISIONS:

| NO. | DATE | DESCRIPTION |
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**MAKMO DESIGN**  
86 ZENITH LANE, SUGAR LAND, TX 77498  
PH # 832-231-7047 TBE FIRM # 21236

LEGAL DESCRIPTION:  
TOPOGRAPHY SURVEY OF LOTS 1, 2, 3, 4, 7, 8, BLOCK 1  
MARGARET WALLACE SUBDIVISION  
VOLUME 138, PAGE 573, B.C.P.R.  
LOCATED IN THE MOSES BAINE LEAGUE, A-3,  
BRAZOS COUNTY, TEXAS

LOT AREA:  
1.072 ACRES (46,676.04 SQ. FT.)

PROPERTY OWNER CONTACT INFORMATION:  
OWNER NAME: NAZARAH PROPERTIES INC  
PHONE: (979) 450-3350  
EMAIL: asifumafya@gmail.com

PROP – LAMPO’S GROCERY  
LOCATED AT  
4311 N TEXAS AVE, BRYAN, TX 77803

SEAL :

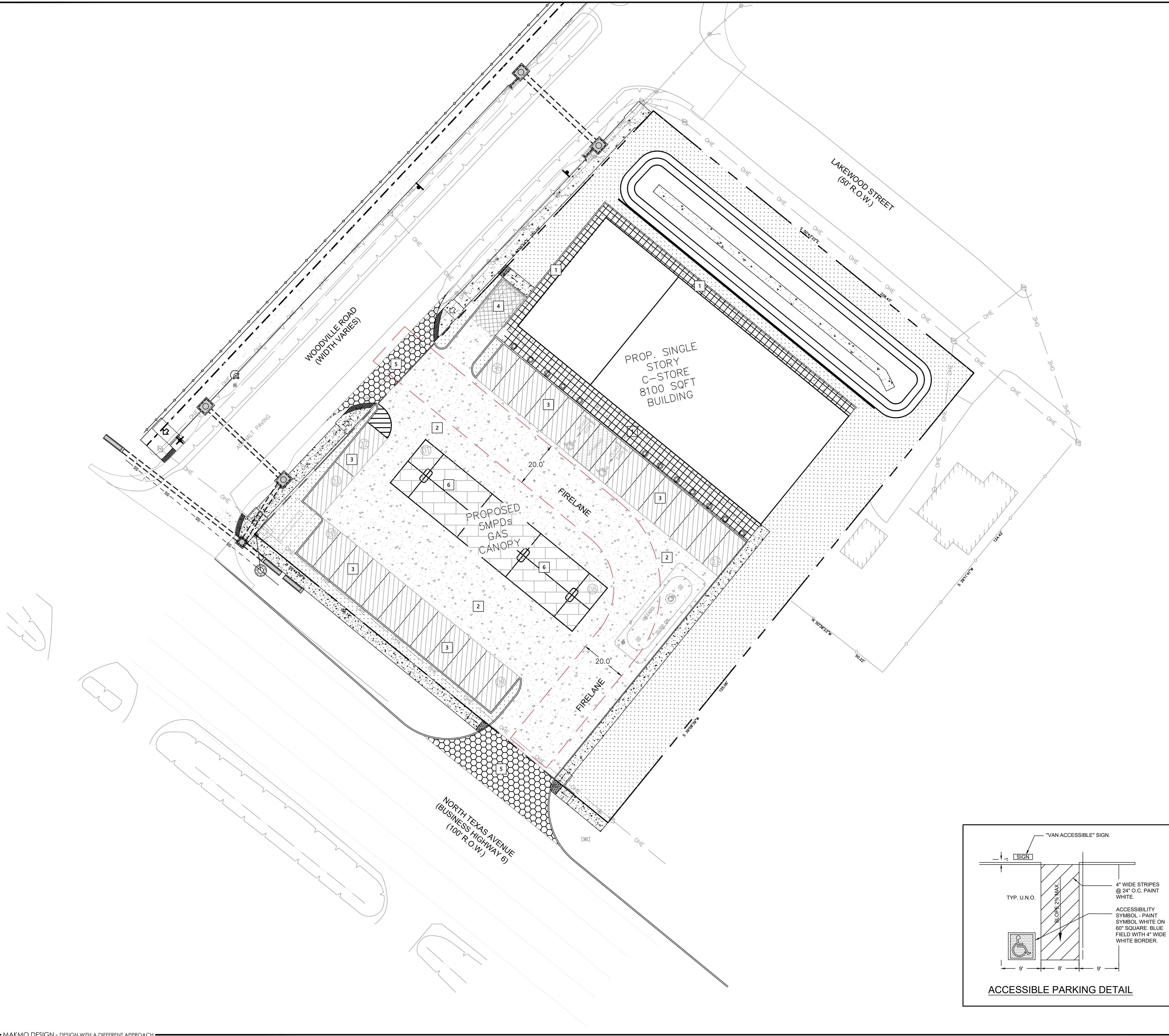
DATE: 03/06/2025

PROJECT NUMBER : 25-006  
SCALE :  
DRAWN BY : R.R.  
CHECKED BY : A.Z  
SHEET TITLE :

**UTILITY PLAN**

DRAWING NUMBER:  
**C-5.0**





| LEGEND |  |                                                               |
|--------|--|---------------------------------------------------------------|
| 1      |  | SIDEWALK (2,265 SQ.FT)<br>(5" WITH #3 BARS @ 18" O.C.)        |
| 2      |  | DRIVING PVMT ( 12,122 SQ.FT )<br>(6" WITH #4 BARS @ 18" O.C.) |
| 3      |  | PARKING PVMT (5,100 SQ.FT )<br>(6" WITH #4 BARS @ 24" O.C.)   |
| 4      |  | DUMPSTER PAD ( 297 SQ.FT )<br>(7" WITH #5 BARS @ 12" O.C.)    |
| 5      |  | ASPHALT (1,780 SQ.FT)<br>(MATCH EXISTING ROAD PAVEMENT)       |
| 6      |  | CANOPY SLAB (2,424 SQ.FT )<br>8" WITH #4 BARS @ 24" O.C.)     |

CONCRETE PAVING NOTES:

ALL CONCRETE SHALL BE IN ACCORDANCE TO THE BUILDING CODE REQUIREMENT IN THE ACI 318-85. ALL CONCRETE SHALL MEET THESE MINIMUM SPECIFICATION.

SLUMP: 5-4"

PAVING- CONCRETE STRENGTH: 3500 PSI @ 28 DAYS

MAX COARSE AGGREGATE SIZE: 1"

• FORM WORK DESIGN IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE REMOVED UNTIL THE CONCRETE HAS GAINED SUFFICIENT STRENGTH TO CARRY ITS OWN WEIGHT PLUS APPLIED CONSTRUCTION LOADS.

• CONCRETE PLACEMENT SHALL BE ACCOMPLISHED BY DIRECT CHUTE FROM THE MIXER TRUCK, CRANE AND BUCKET OR BY PUMPING TO ITS FINAL POINT OF DEPOSIT. CONCRETE SHALL NOT BE DUG BY HAND MORE THAN 5 FEET.

• TO PREVENT EXCESS AND UNCONTROLLED CRACKING, CONTROL JOINTS SHOULD BE PROVIDED AT 12' MAX. SPACING IN EACH DIRECTION. CONTROL JOINTS MAY BE SAW CUT, METAL KEYWAY OR OF REMOVABLE STRIP TYPE. EXPANSION JOINT SHALL BE PLACED NO MORE THAN 45' MAX. EXPANSION JOINTS SHALL THEN BE FILLED WITH AN ELASTOMERIC JOINT FILLER MATERIAL. SEE PLAN FOR EXACT LOCATION OF JOINTS. FOR SIDEWALKS, PROVIDE EXPANSION JOINTS @ 20' O.C AND CONTROL JOINTS @ 5' O.C. MAX.

PAVING METHODS:

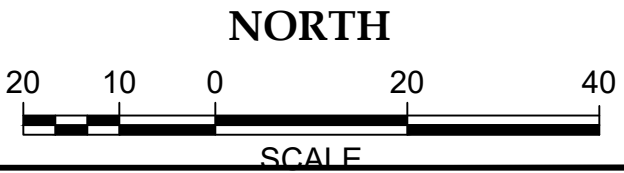
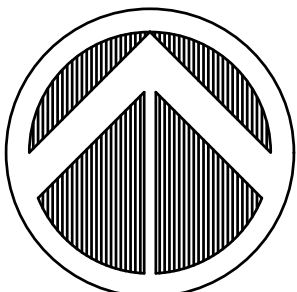
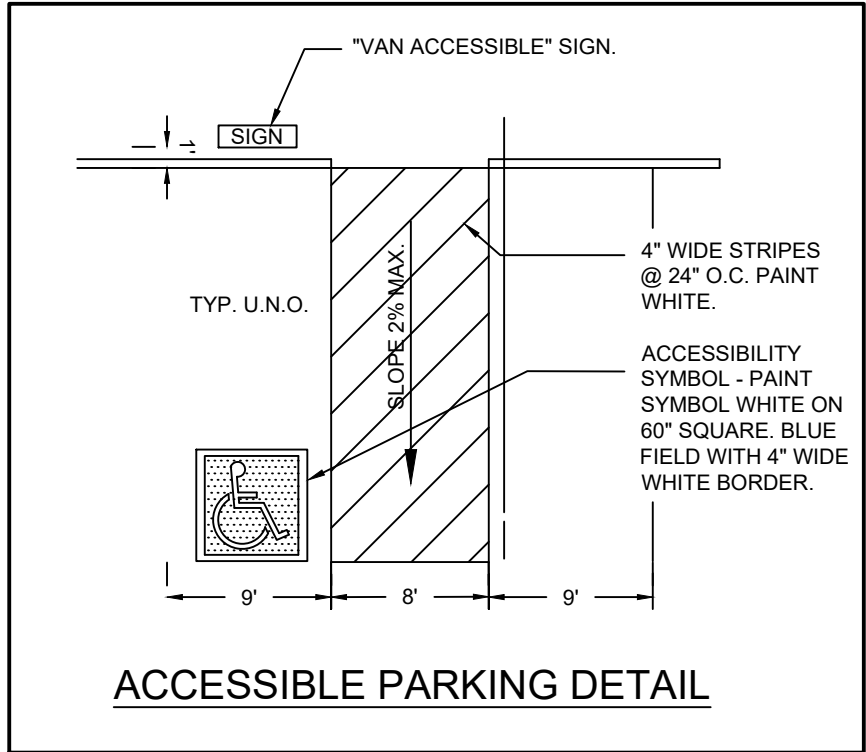
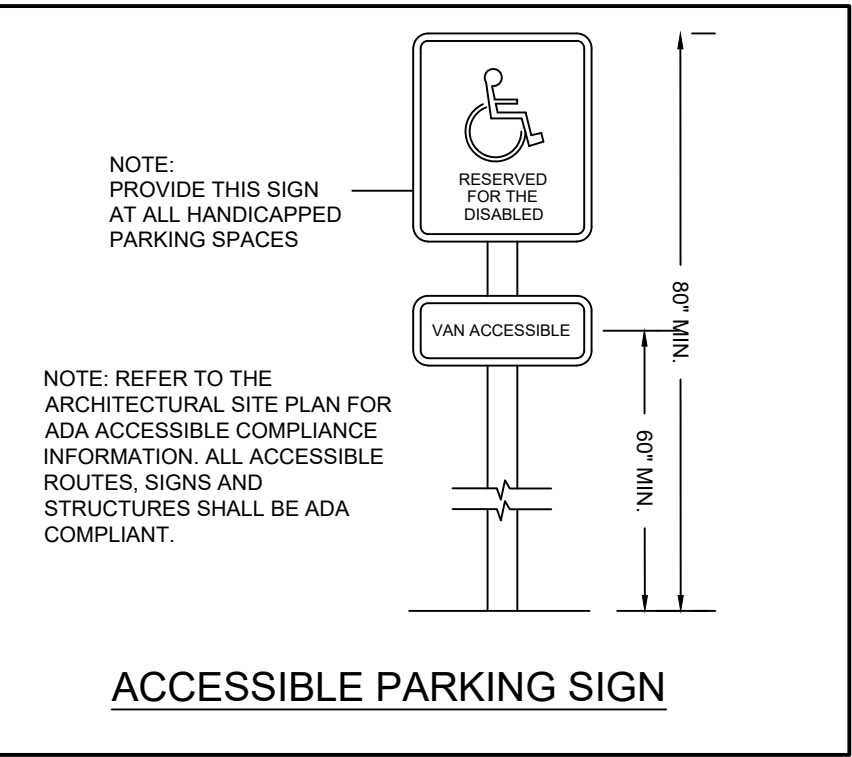
- 5" CONCRETE PAVING REINFORCED WITH #3 BARS @ 18" O.C.E.W. OVER 6" SUBGRADE WITH ABOUT 6% LINE-FLY ASH BY DRY UNIT WEIGHT STABILIZED. (SIDEWALK/WALKWAYS)
- 6" CONCRETE PAVING REINFORCED WITH #4 BARS @ 24" O.C.E.W. OVER 6" SUBGRADE WITH ABOUT 6% LINE-FLY ASH BY DRY UNIT WEIGHT STABILIZED. (PARKING AREA)
- 6" CONCRETE PAVING REINFORCED WITH #4 BARS @ 18" O.C.E.W. OVER 6" SUBGRADE WITH ABOUT 6% LINE-FLY ASH BY DRY UNIT WEIGHT STABILIZED. (DRIVING ISLE)
- 7" CONCRETE PAVING REINFORCED WITH #5 BARS @ 12" O.C.E.W. OVER 9" SUBGRADE WITH ABOUT 6% LINE-FLY ASH BY DRY UNIT WEIGHT STABILIZED. (DUMPSTER LOCATION)
- 8" CONCRETE PAVING REINFORCED WITH #4 BARS @ 18" O.C.E.W. OVER 8" LIME STABILIZED SUBGRADE, 60' MAX HEADER SPACING, MIN 16" LAP SPLICE (CONCRETE DRIVEWAY APRON)
- 8" BLACK BASE, 8" STABILIZED LIME SUBGRADE, 2.5-3" TYPE D

REINFORCING STEEL NOTES:

- REINFORCING BARS SHALL CONFORM TO ASTM A-615, GRADE 60. BARS SHOULD BE NEW, CLEAN AND FREE OF DIRT, RUST OR OIL.
- DETAILING AND FABRICATION OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE, ACI315-80, UNLESS SHOWN OTHERWISE. CONTINUOUS BARS 30 BAR DIAMETERS AT SPLICES, 12" MIN.
- REINFORCING BARS MAY NOT BE WELDED WITHOUT THE APPROVAL OF THE CIVIL ENGINEER.
- PROVIDE NECESSARY TIES AND BAR SUPPORTS AS REQUIRED BY THE MANUAL OF STANDARD PRACTICE, ACI 315-80, CHAPTER-3. BRICK, ROCK OR MASONRY BLOCKS ARE NOT ACCEPTABLE SUPPORTS. CHAIRS AND BOLSTERS FOR DIRECTLY OVER EARTH, POLY SHEETS SHALL BE EQUIPPED WITH BOTTOM BEARING PLATES.
- CONCRETE COVERAGE FOR THE REINFORCING STEEL SHALL COMPLY WITH THE ACI 318-95 CODE, ARTICLE 7.7.1, EXCEPT WHERE STATED SPECIFICALLY OTHERWISE.

SITE PREPARATION NOTES:

- THE CONTRACTOR SHALL FOLLOW THE GUIDELINES SET FORTH WITHIN THE GEOTECHNICAL REPORT FOR SITE PREPARATION AND PAVING AND IS ADVISED TO GET IT SUPERVISED AND/OR INSPECTED WITH THE GEOTECHNICAL FIRM AS REQUIRED. THE MINIMUM SITE COMPACTION UNDER PAVING AND OVER UTILITIES SHALL BE 95% OR HIGHER ON PROCTOR WITH FILL PLACED IN 8" LIFTS. SUBGRADE MUST BE LIME STABILIZED AND REQUIRE 7% HYDRATED LIME BY DRY UNIT WEIGHT. THE STABILIZED CLAYS SHOULD BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY IN A MOISTURE CONTENT RANGE OF -1% TO +4% OF THE SOIL/LIME MIXTURE'S OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D-698.



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CONSTRUCTION SET ☒

| REVISIONS: |      |             |
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| NO.        | DATE | DESCRIPTION |
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LEGAL DESCRIPTION:

TOPOGRAPHY SURVEY OF LOTS 1, 2, 3, 4, 7, 8, BLOCK 1, MARGARET WALLACE SUBDIVISION, VOLUME 138, PAGE 573, B.C.P.R., LOCATED IN THE MOSES BAINE LEAGUE, A-3, BRAZOS COUNTY, TEXAS

LOT AREA:

1.072 ACRES (46,676.04 SQ. FT.)

PROPERTY OWNER CONTACT INFORMATION:

OWNER NAME: NAZARAH PROPERTIES INC

PHONE: (979) 450-3350

EMAIL: aslunaty@yahoo.com

PROP – LAMPO’S GROCERY  
LOCATED AT  
4311 N TEXAS AVE, BRYAN, TX 77803

SEAL :

DATE: 03/06/2025

PROJECT NUMBER : 25-006

SCALE :

DRAWN BY : R.R.

CHECKED BY : A.Z

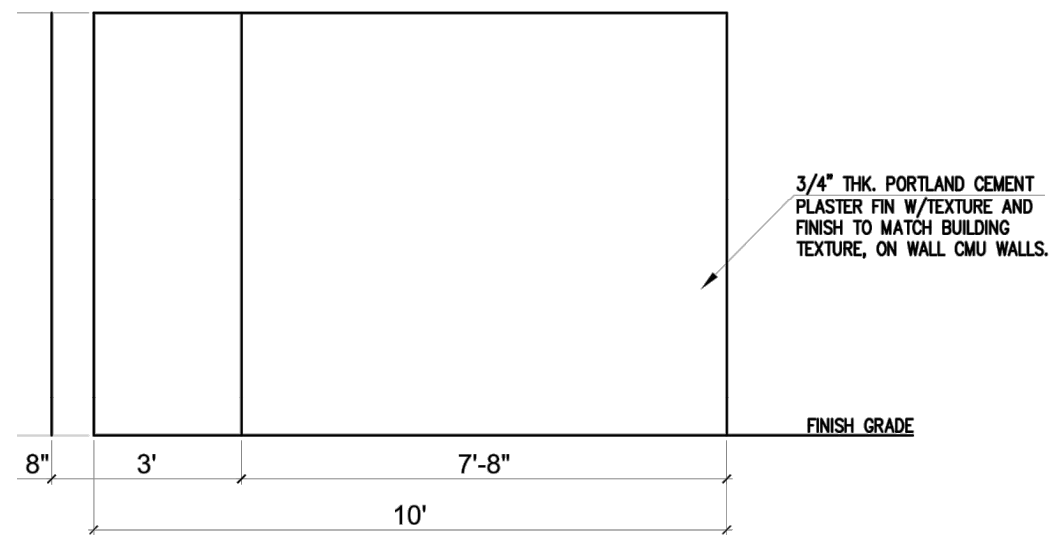
SHEET TITLE :

PAVING PLAN

DRAWING NUMBER:

C-6.0

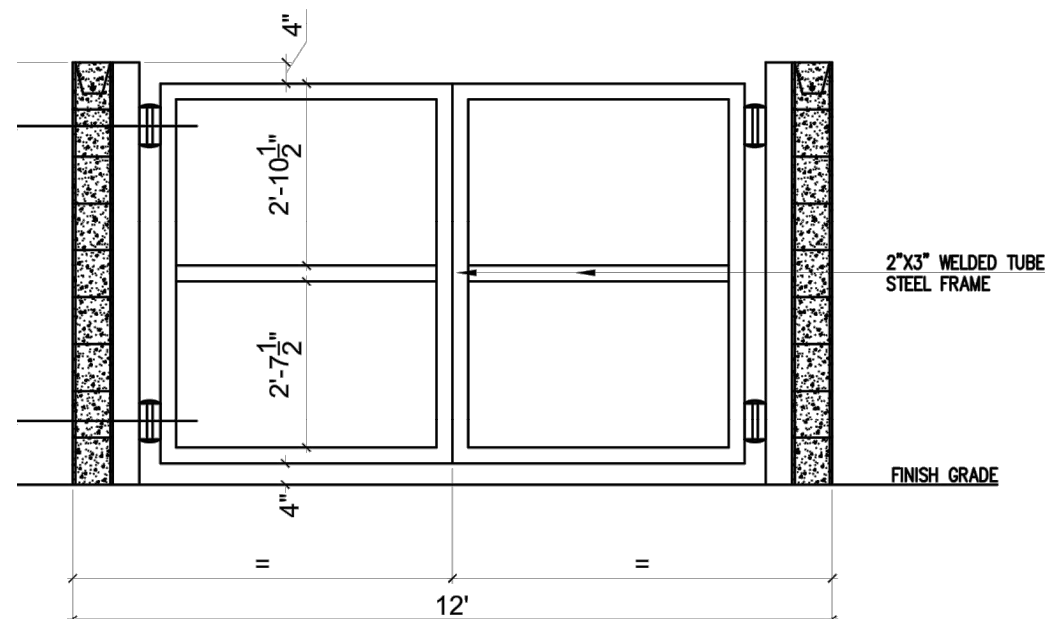




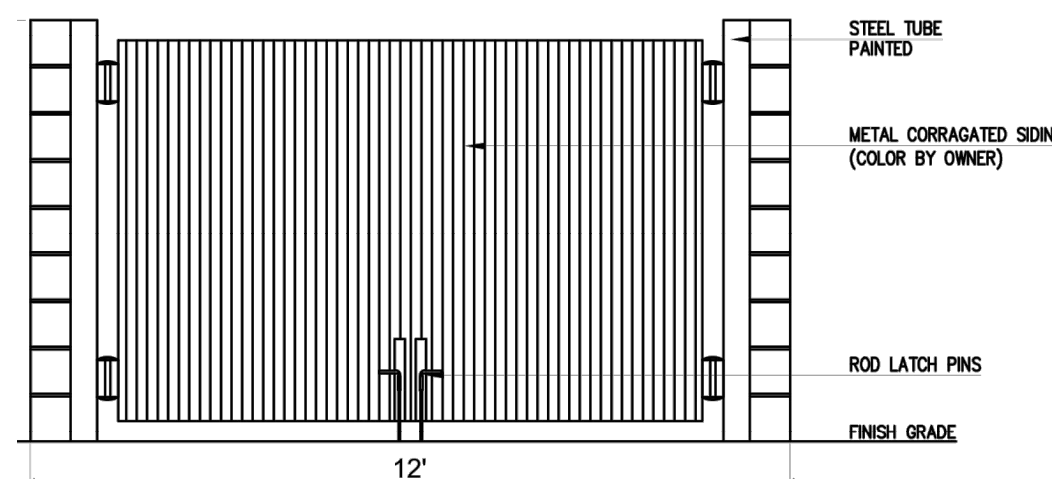
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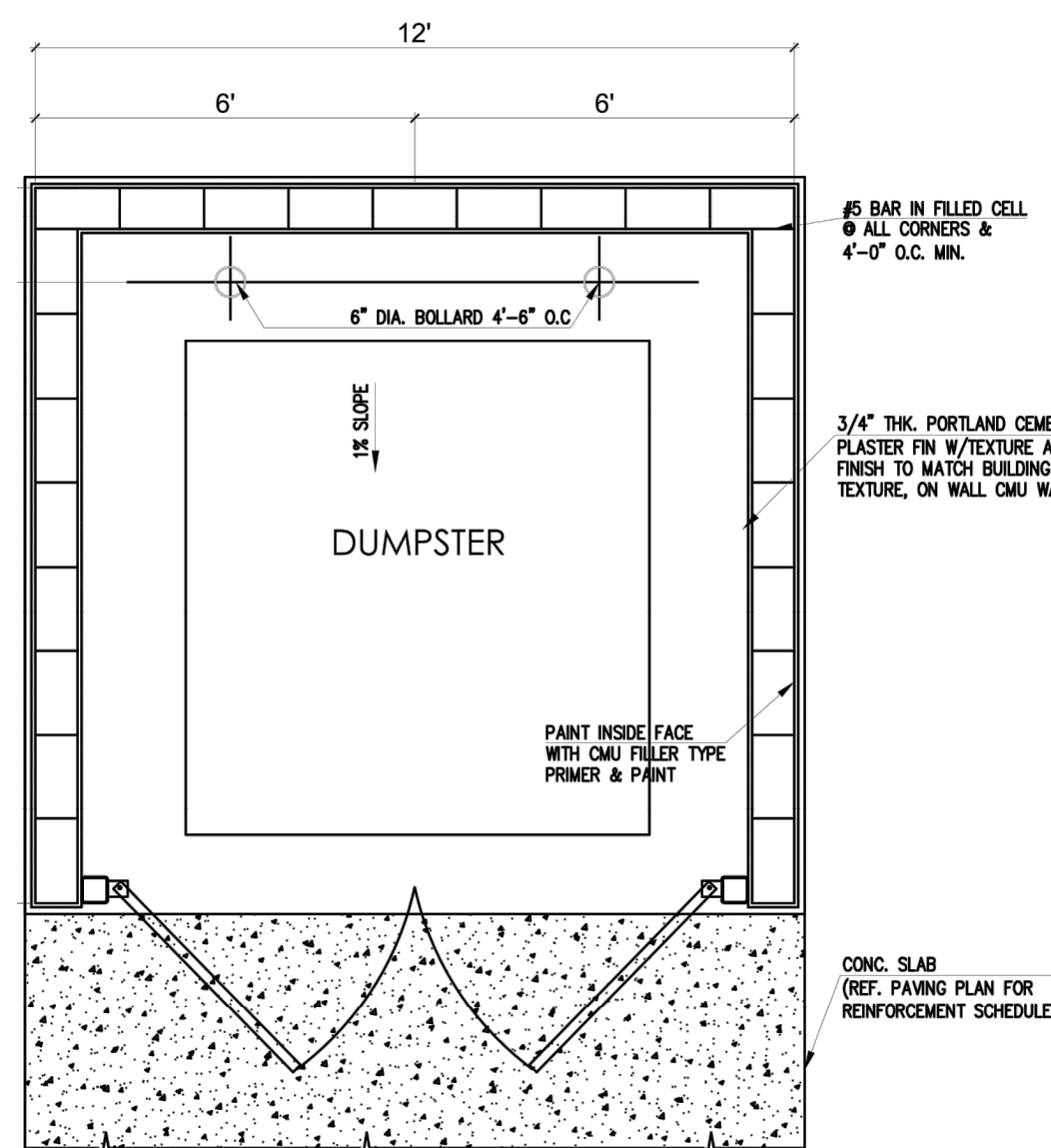
4 TRASH ENCLOSURE REAR ELEV.  
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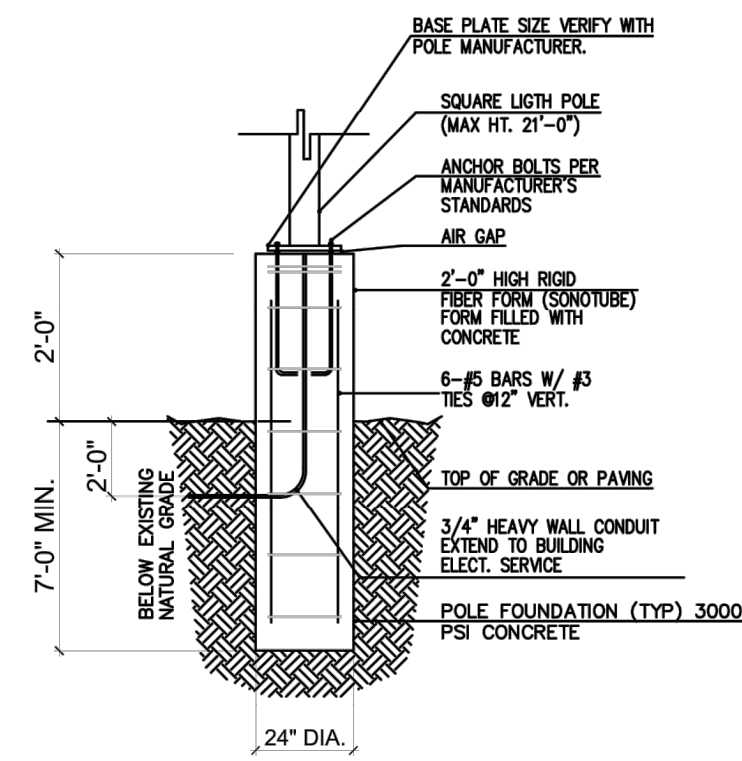
3 TRASH ENCLOSURE SECTION  
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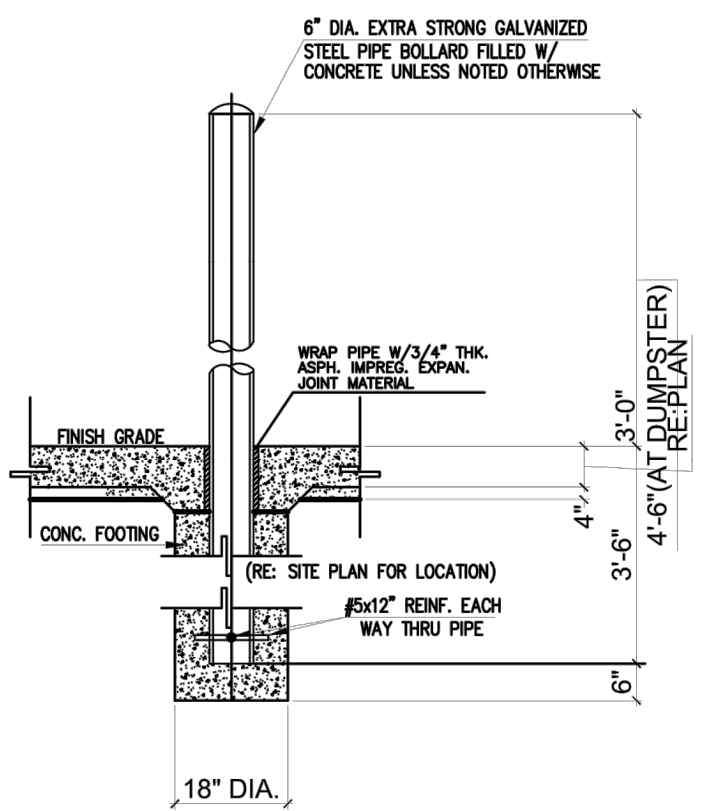
2 TRASH ENCLOSURE ELEVATION  
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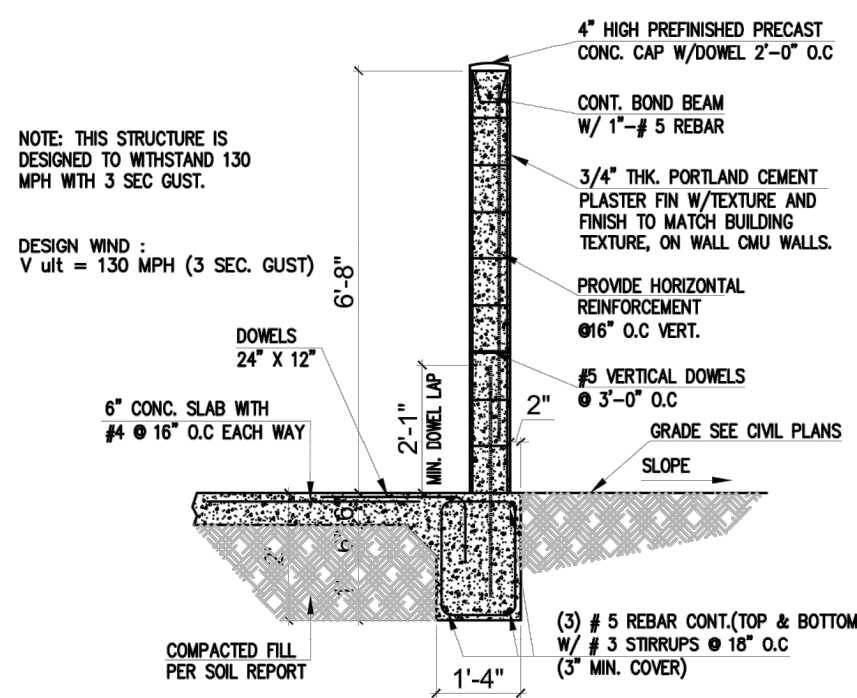
1 ENLARGED TRASH ENCLOSURE  
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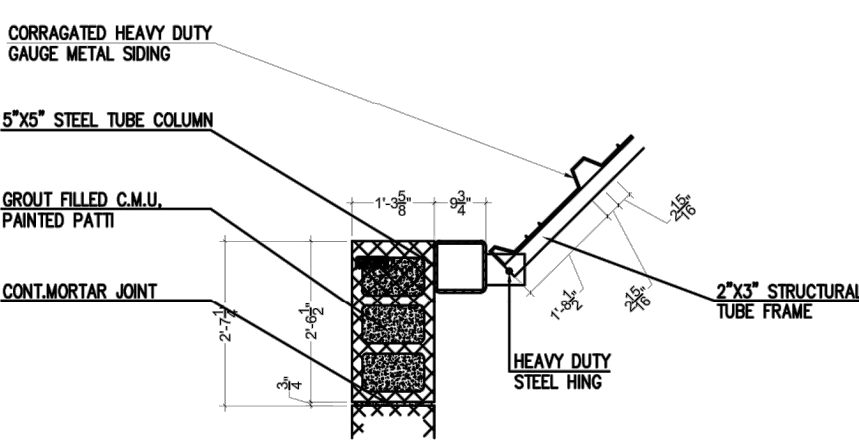
9 LIGHT POLE DETAIL  
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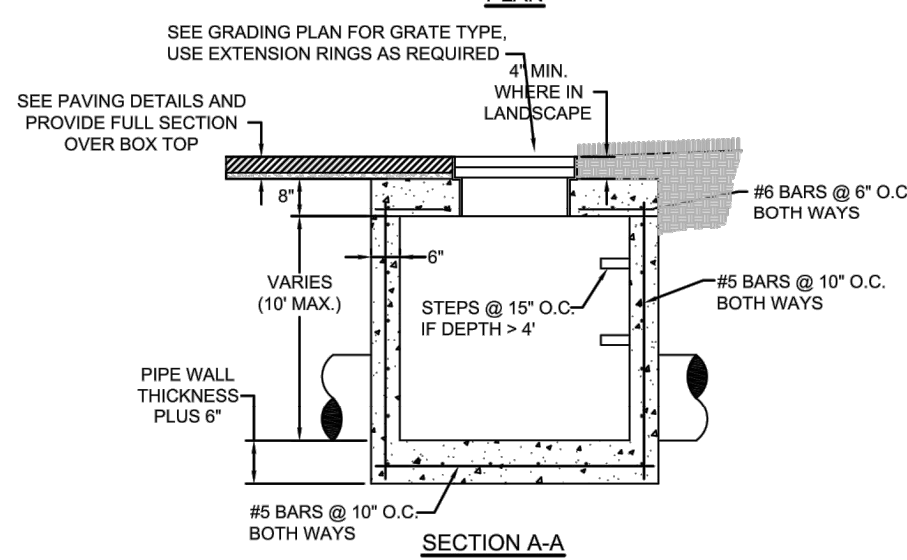
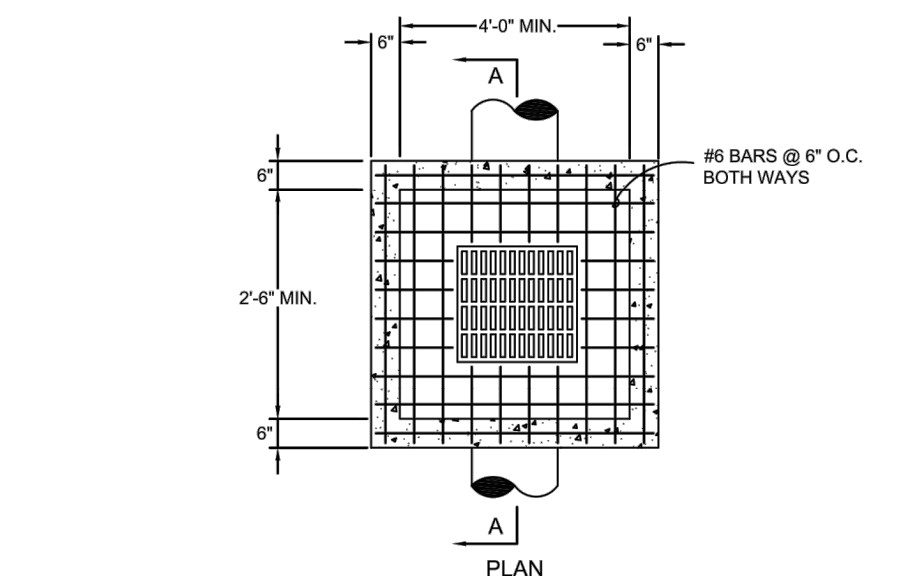
8 PIPE BOLLARD  
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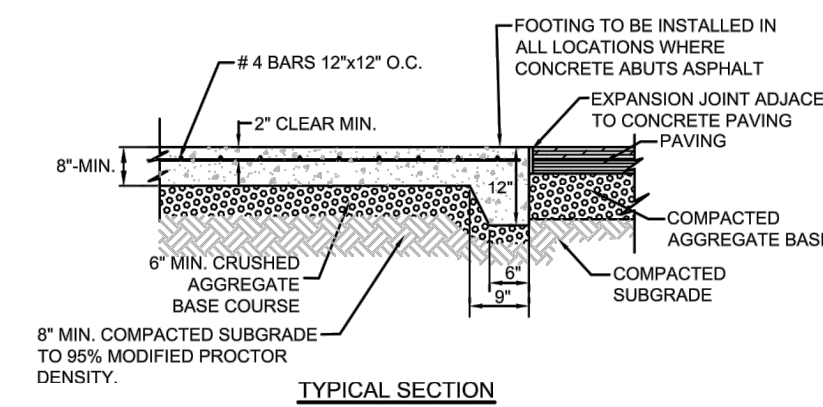
7 ENCLOSURE WALL SECTION  
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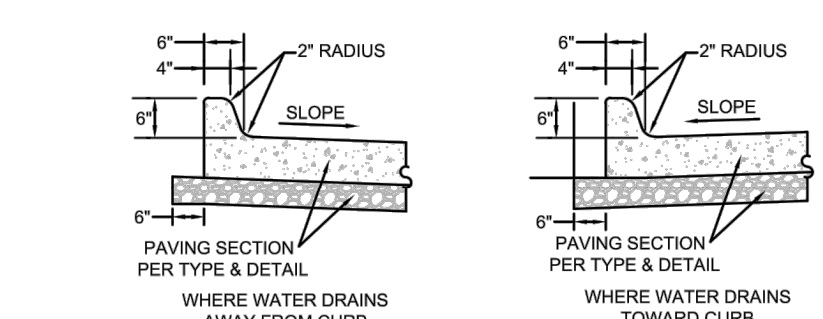
6 HINGE DETAIL  
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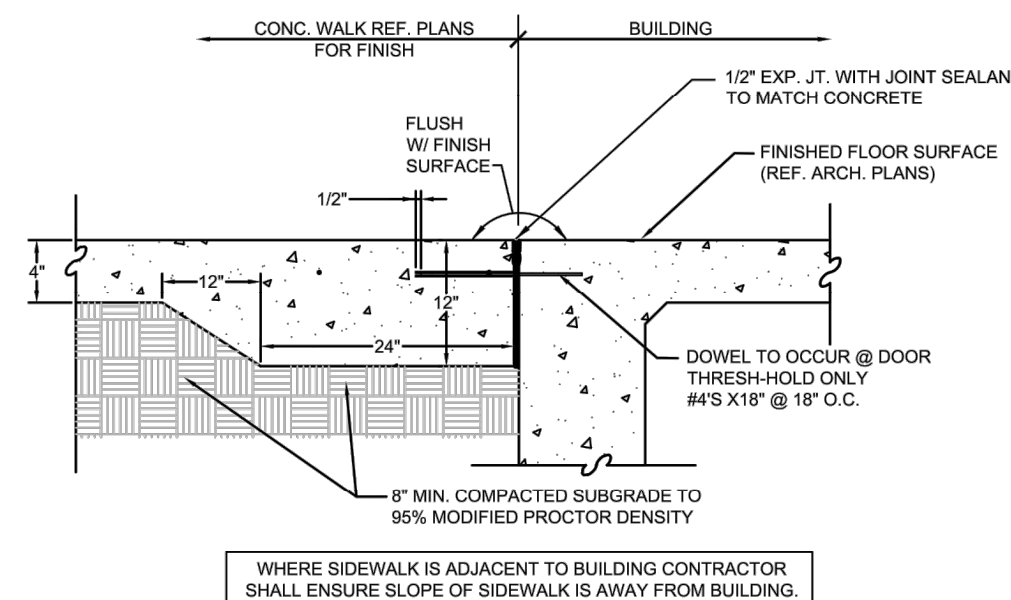
13 GRATE INLET SQUARE BOX  
N.T.S.



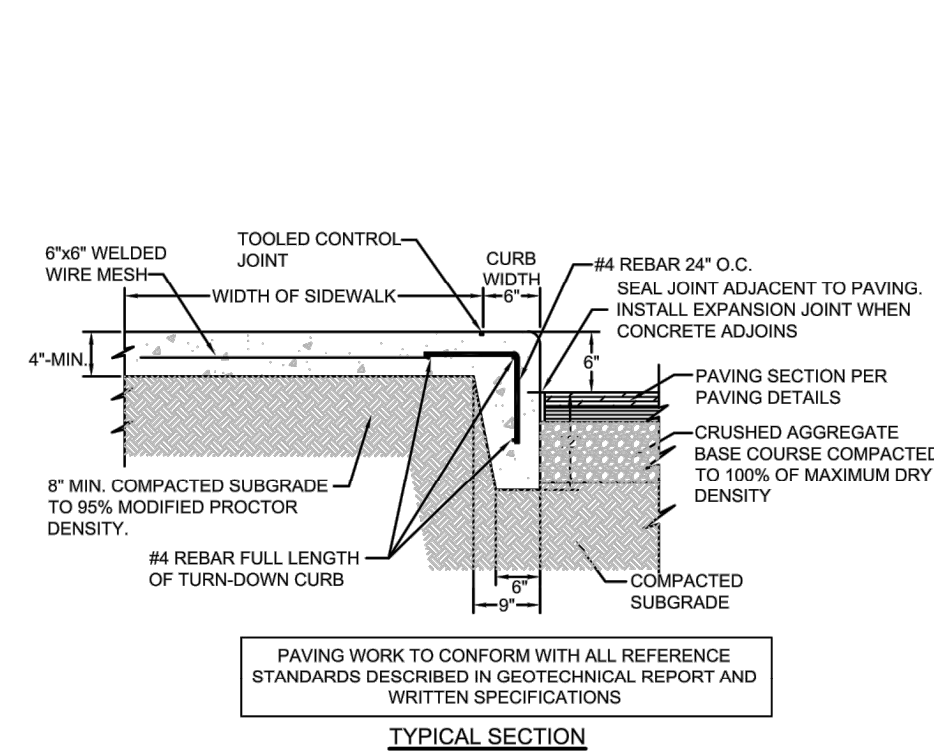
12 CONCRETE PAD FOR DUMPSTERS  
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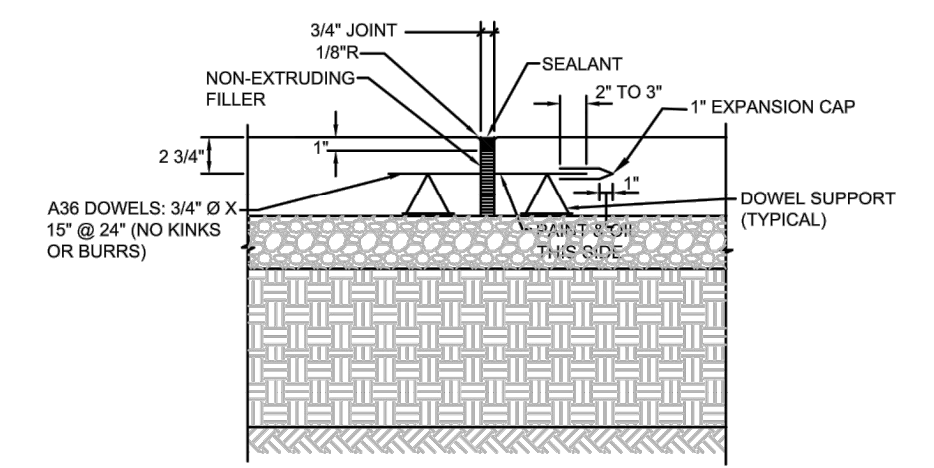
11 INTEGRAL CONCRETE CURB  
N.T.S.



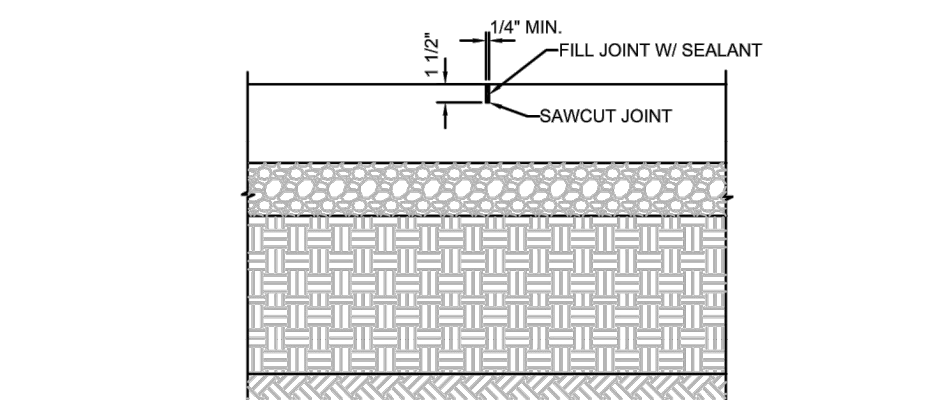
10 CONCRETE SIDEWALK AT BUILDING  
SECTION N.T.S.



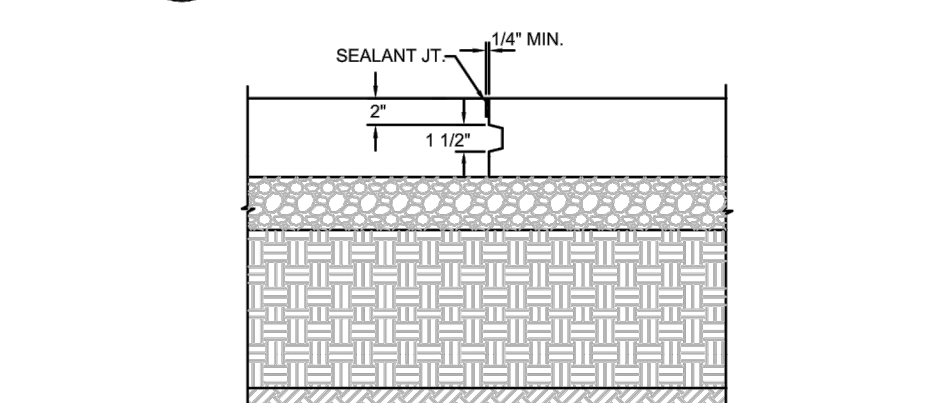
18 TURNDOWN CURB AT SIDEWALK  
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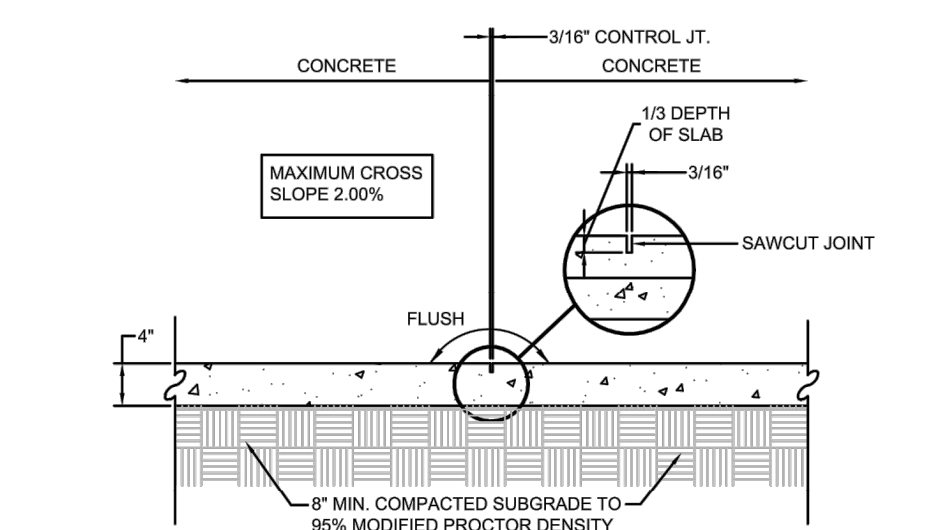
17 EXPANSION JOINT AT CONCRETE PAVING  
N.T.S.



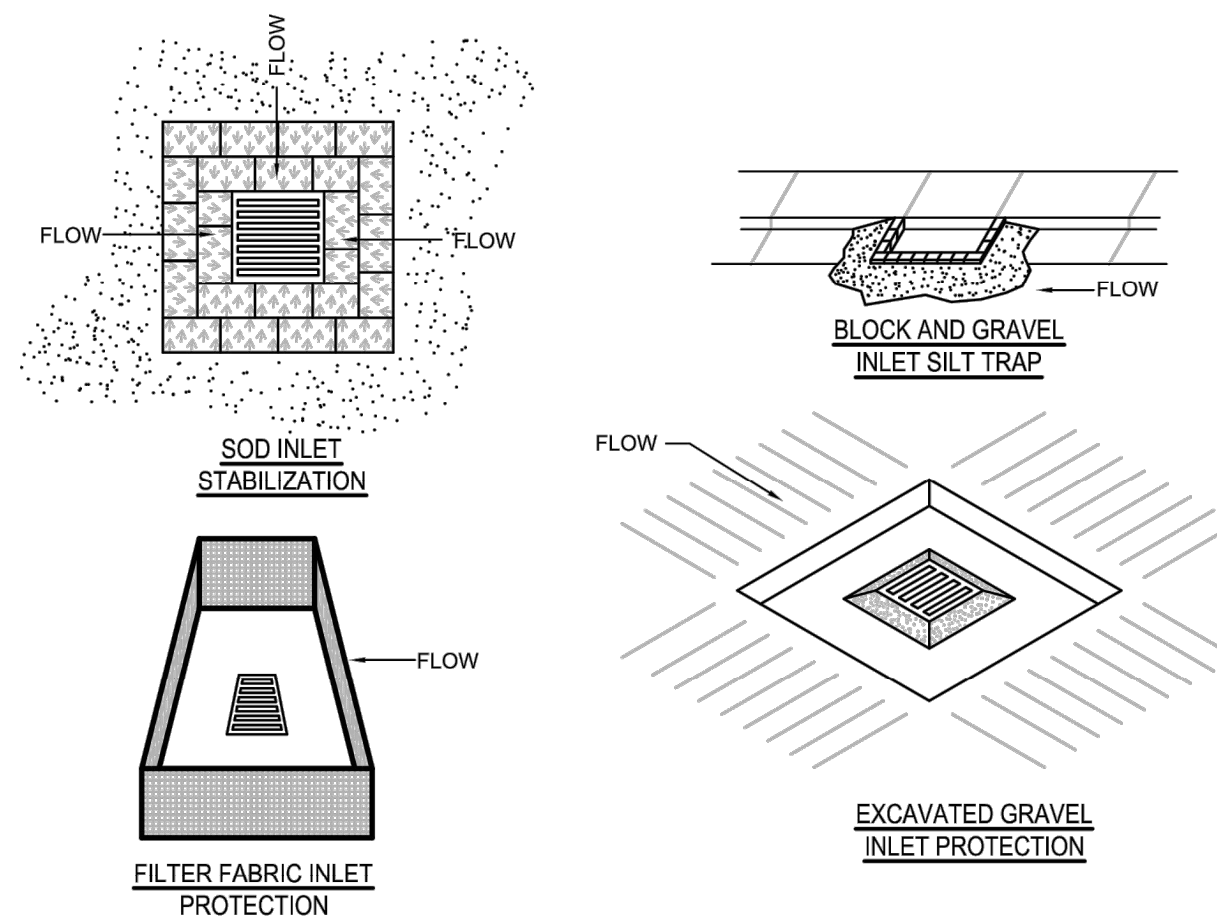
16 CONTRACTION JOINT AT CONCRETE PAVING  
N.T.S.



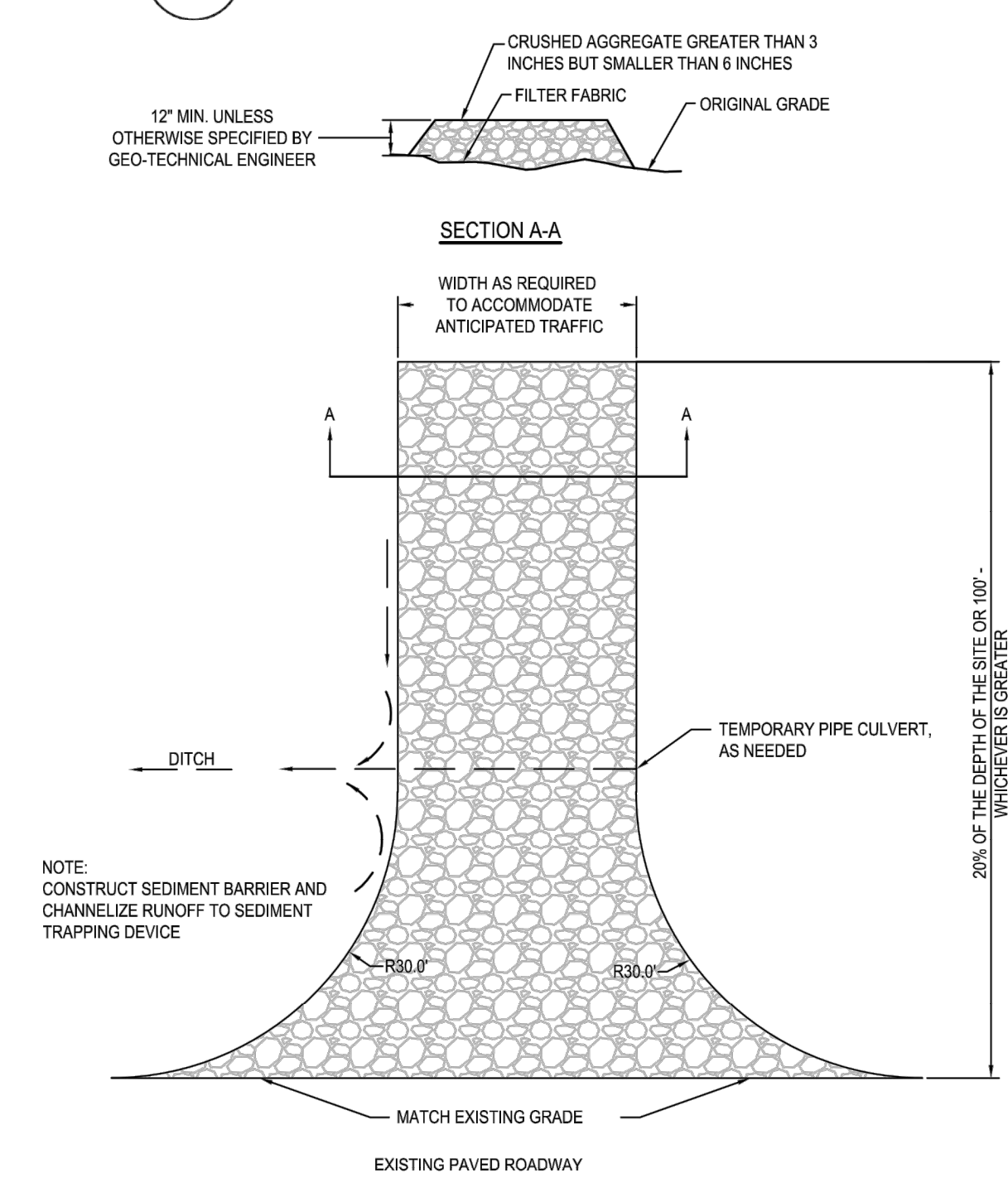
15 CONSTRUCTION/KEYED JOINT AT CONCRETE PAVING  
N.T.S. USE FOR CONTROL JOINT IF CONST. JOINT REQUIRED



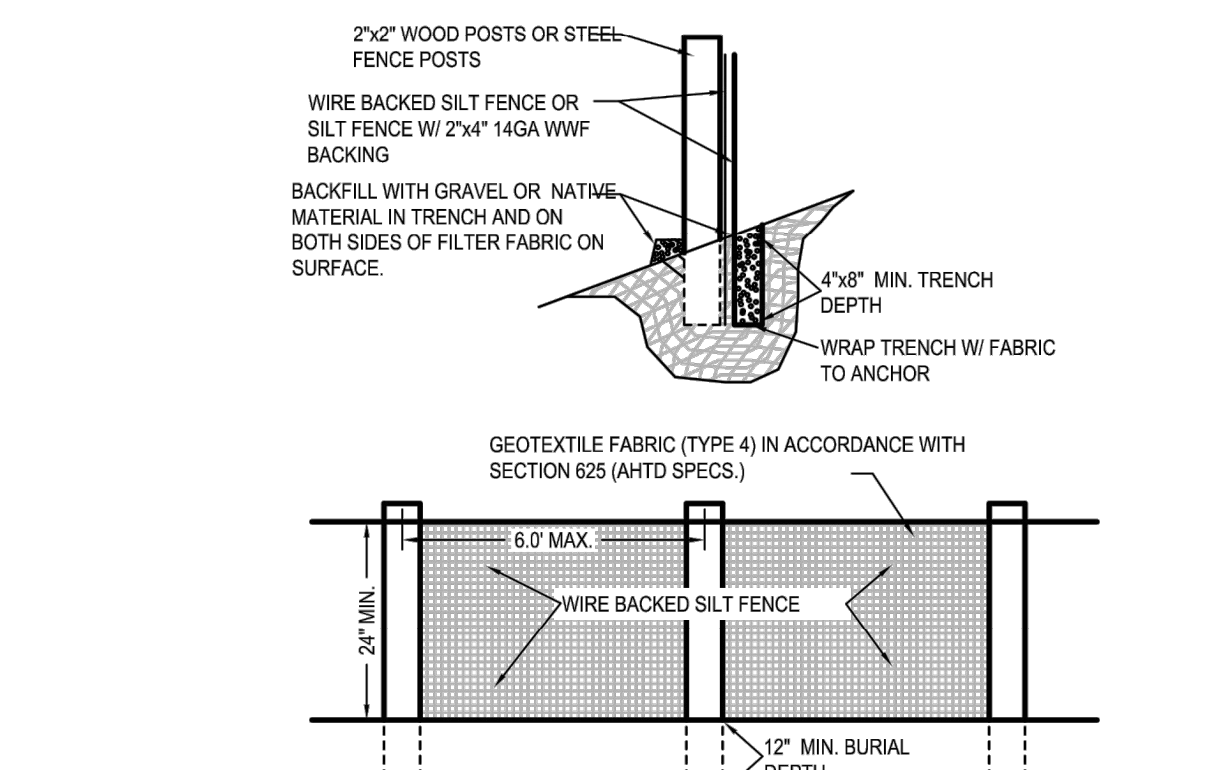
14 CONCRETE SIDEWALK AT SAWCUT CONTROL JOINT  
SECTION N.T.S.



21 INLET PROTECTION DETAILS  
N.T.S.



20 CONSTRUCTION ACCESS  
N.T.S.



19 WIRE BACKED SILT FENCE  
N.T.S.

ISSUE FOR:  
FOR INTER REVIEW ONLY  
BID ONLY  
PERMITS SET  
CONSTRUCTION SET

| REVISIONS: |      |             |
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| NO.        | DATE | DESCRIPTION |
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**MAKMO DESIGN**  
86 ZENITH LANE, SUGAR LAND, TX 77498  
PH # 832-231-7047 TBE FIRM # 21236

**LEGAL DESCRIPTION:**  
TOPOGRAPHY SURVEY OF LOTS 1, 2, 3, 4, 7, 8, BLOCK 1  
MARGARET WALLACE SUBDIVISION  
VOLUME 138, PAGE 573, B.C.P.R.  
LOCATED IN THE MOSES BAINE LEAGUE, A-3,  
BRAZOS COUNTY, TEXAS

**LOT AREA:**  
1.072 ACRES (46,676.04 SQ. FT.)  
**PROPERTY OWNER CONTACT INFORMATION:**  
OWNER NAME: NAZARAH PROPERTIES INC  
PHONE: (979) 450-3350  
EMAIL: asifumathy@gmail.com

PROP - LAMPO'S GROCERY  
LOCATED AT  
4311 N TEXAS AVE, BRYAN, TX 77803

SEAL :



DATE: 03/06/2025

PROJECT NUMBER : 25-006  
SCALE :  
DRAWN BY : R.R.  
CHECKED BY : A.Z.  
SHEET TITLE :

**SITE DETAILS**

DRAWING NUMBER:  
**C-7.0**

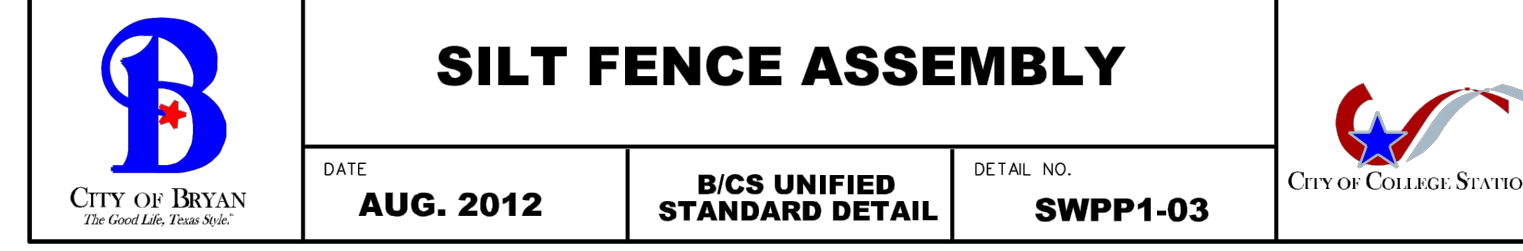








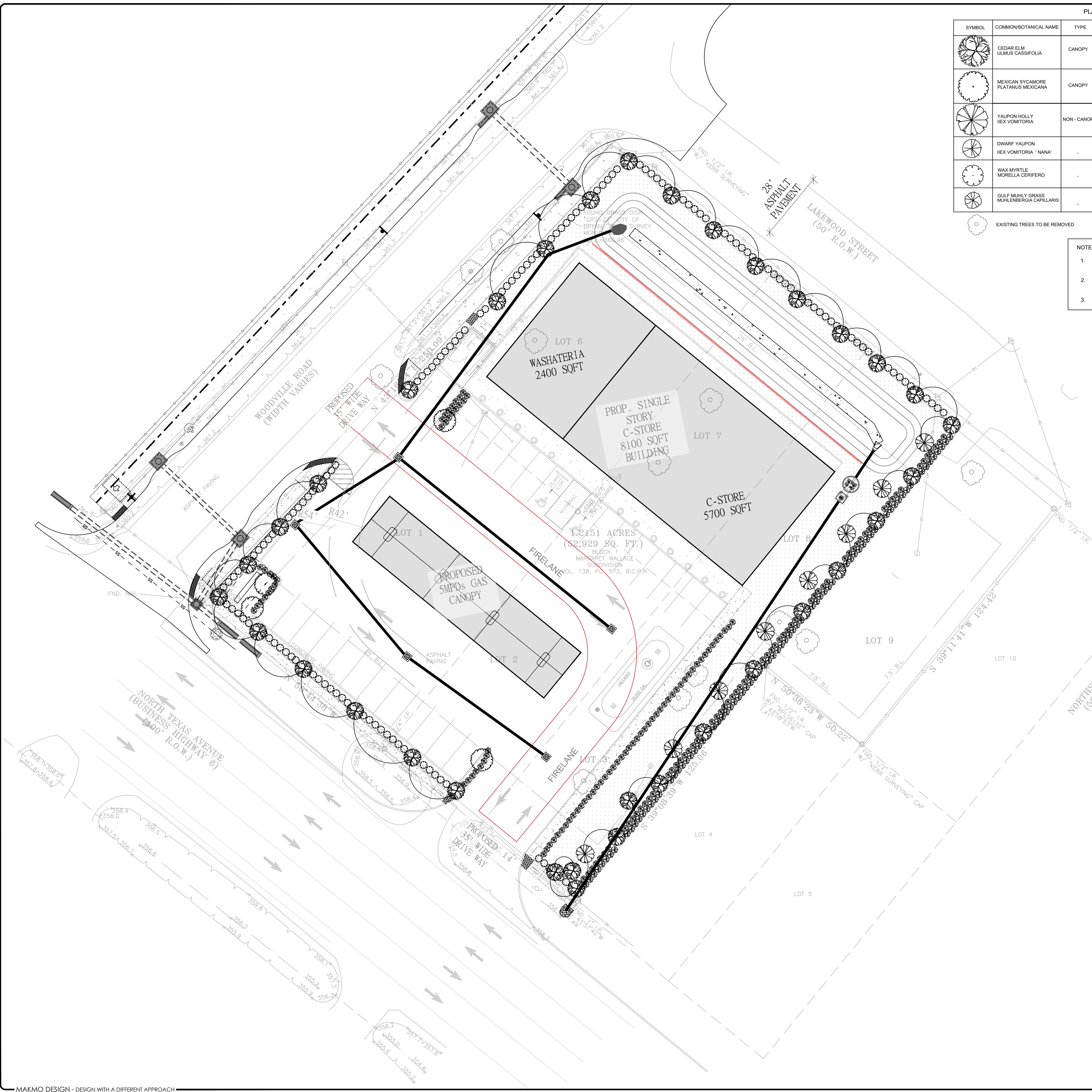
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|----------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------|------------------------------------------|-----------------------------------|-------------------------------------------------------------------------------------------------------------------------|
| <br><b>CITY OF BRYAN</b><br><i>The Good Life, Texas Style</i> | <b>STANDARD FIRE HYDRANT ASSEMBLY</b> |                                          |                                   | <br><b>CITY OF COLLEGE STATION</b> |
|                                                                                                                                                    | <b>DATE</b><br><b>APR 2024</b>        | <b>B/C/S UNIFIED<br/>STANDARD DETAIL</b> | <b>DETAIL NO.</b><br><b>W1-02</b> |                                                                                                                         |



**PROPERTY OWNER CONTACT INFORMATION:**  
OWNER NAME: NAZARANA PROPERTIES INC  
PHONE: (979) 450-3350  
EMAIL: asifumatiya@gmail.com

DRAWING NUMBER:  
**C-7.2**





| PLANT LIST |                                             |              |                |             |             |                       |             |
|------------|---------------------------------------------|--------------|----------------|-------------|-------------|-----------------------|-------------|
| SYMBOL     | COMMON/BOTANICAL NAME                       | TYPE         | SIZE           | QTY         |             | SQ FT CREDIT PER UNIT | TOTAL POINT |
|            |                                             |              |                | LANDSCAPING | BUFFER AREA |                       |             |
|            | CEDAR ELM<br>ULMUS CASSIFOLIA               | CANOPY       | 2" CAL, 10-12' | 20          | 14          | 200 SF                | 6,800       |
|            | MEXICAN SYCAMORE<br>PLATANUS MEXICANA       | CANOPY       | 2" CAL, 10-12' | 4           | 0           | 200 SF                | 800         |
|            | YAUPOON HOLLY<br>ILEX VOMITORIA             | NON - CANOPY | 2" CAL, 8-10'  | 0           | 8           | 100 SF                | 800         |
|            | DWARF YAUPOON<br>ILEX VOMITORIA 'NANA'      | -            | 3 GAL          |             | 76          | 10 SF                 | 760         |
|            | WAX MYRTLE<br>MORELLA CERIFERO              | -            | 3 GAL          | 118         | 5           | 10 SF                 | 1,230       |
|            | GULF MUHLY GRASS<br>MUHLENBERGIA CAPILLARIS | -            | 2 GAL          | 41          | 116         | 10 SF                 | 1,570       |

EXISTING TREES TO BE REMOVED

- NOTES:
- LANDSCAPING USED TO SCREEN PARKING LOTS MUST BE DENSE SHRUBBERY HAVING YEAR-ROUND FOLIAGE.
  - THE LANDSCAPING SCREENING SHALL FOLLOW THE PATTERN REQUIRED IN THE ORDINANCE.
  - ALL EXISTING TREE TO BE REMOVED

**LANDSCAPE ANALYSIS:**

1-CONSTRUCTION ACTIVITIES:

PARKING & PAVEMENT = 22,401 SF  
BUILDINGS = 8,100 SF  
NET TOTAL = 30,501 SF

2- REQUIREMENTS:

BUILDING , PARKING , & PAVEMENT  
30,501 SF @ 15% = 4,575 SF  
NET TOTAL = 4,575 SF PROVIDED 6,190 SF

NOT LESS THAN 50% OF REQUIRED AREA SHALL BE TREES—2,288 SF REQ'D;  
2,300 SF PROVIDED

NOT LESS THAN 50% OF TREE PLANTED SHALL BE CANOPY; 1,144 SF REQ'D;  
2,300 SF PROVIDED

3 - PROVIDED FOR LANDSCAPING 15% ;

STREET TREE (CANOPY): 20 = 4000 SF  
PARKING LOT TREES (CANOPY): 3 = 600 SF  
SHRUBS: 159 = 1,590 SF  
TOTAL AREA PROVIDED = 6,190 SF

4- BUFFER REDUCTION LANDSCAPING REQUIREMENT  
FOR THE REDUCED BUFFER AREA, THIS LANDSCAPING SHOULD BE COUNTED SEPARATELY FROM THE GENERAL 15% REQUIREMENT.

BUFFER YARD AREA PROVIDED :

CANOPY TREES : 14 = 2,800 SF  
NON CANOPY TREES : 8 = 800 SF  
SHRUBS: 121 = 1,210 SF  
TOTAL AREA PROVIDED = 5,570 SF

NOTE :  
AUTOMATIC IRRIGATION IS REQUIRED FOR THIS PROJECT  
ALL PARKING ISLANDS MUST HAVE A CANOPY TREE.

**LANDSCAPING CALCULATIONS:**

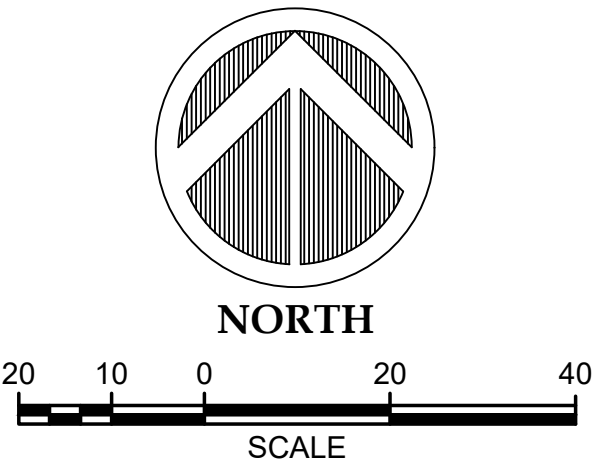
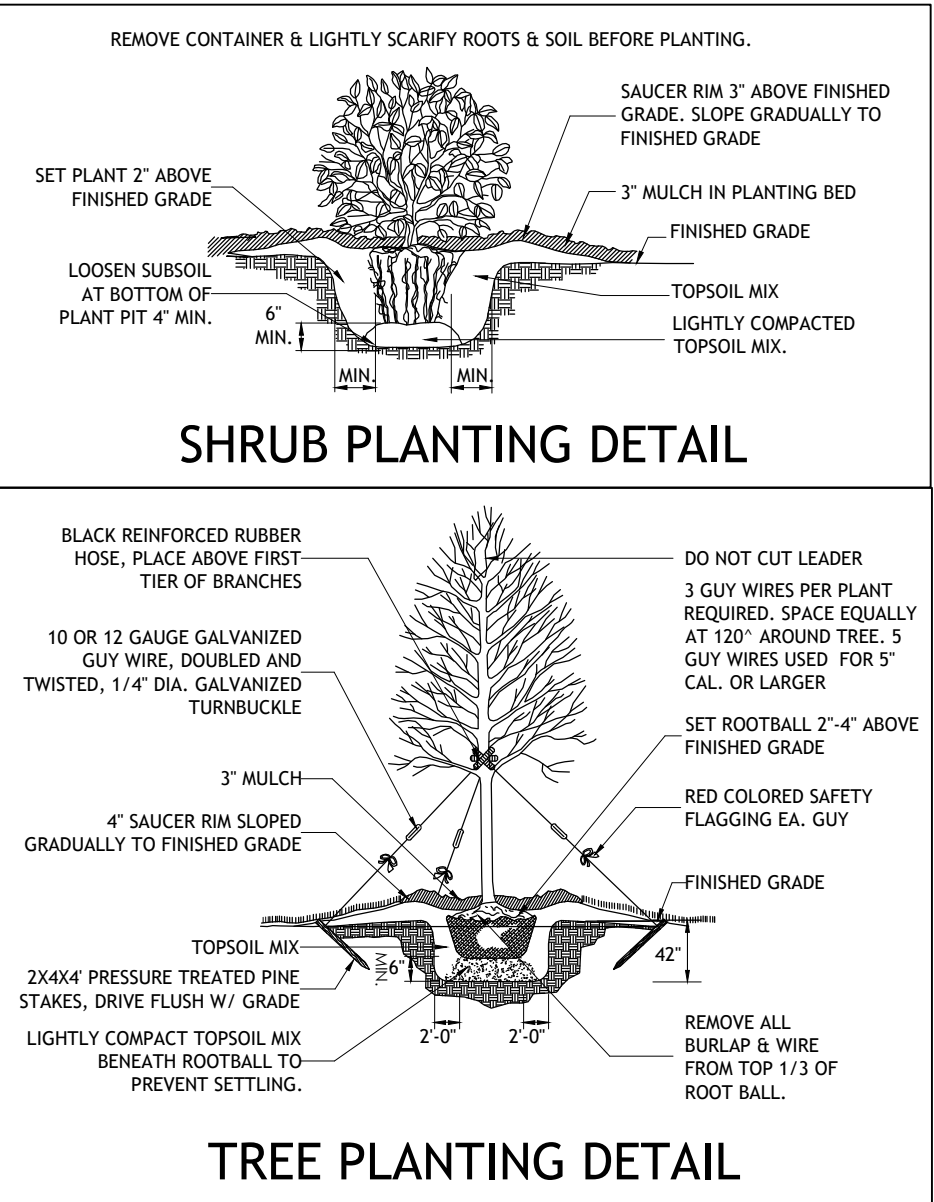
A. STREET TREES:  
Length of property line in lineal feet as measured along all sides of the property fronting on a public street(s).  
196.14/30 = 7 Street trees require on HWY 06  
250.09/30 = 8 Street trees require on WOODVILLE ROAD  
178/30 = 6 Street trees require on LAKEWOOD ST  
(Staff may create an artificial lot)

B. PARKING LOT TREES:  
Number of new parking stalls to be constructed 36/10 = 4 Parking lot trees required.

C. TOTAL TREE REQUIREMENT:  
A+ B = 25 total number of street and parking lot trees required.

A. SHRUBS: (Are required for new or the expanded portion of parking lots)  
Total number of Street trees required, from A above 23 x 10 =230 shrubs.

B. LANDSCAPE BUFFER:  
6' high screening fence, or 15' wide evergreen planting strip along the total length of property line adjacent to existing single-family residential, or limit of expansion adjacent to existing single-family residential.  
(Site plan must show land use on all side of the property)



ISSUE FOR:

FOR INTER REVIEW ONLY ☐

BID ONLY ☐

PERMITS SET ☐

CONSTRUCTION SET ☒

| REVISIONS: |      |             |
|------------|------|-------------|
| NO.        | DATE | DESCRIPTION |
|            |      |             |
|            |      |             |
|            |      |             |
|            |      |             |



**LEGAL DESCRIPTION:**

TOPOGRAPHY SURVEY OF LOTS 1, 2, 3, 6, 7, 8, BLOCK 1,  
MARGARET WALLACE SUBDIVISION  
VOLUME 138, PAGE 573, B.C.P.R.  
LOCATED IN THE MOSES BAINE LEAGUE, A-3,  
BRAZOS COUNTY, TEXAS

**LOT AREA:**  
1.072 ACRES (46,676.04 SQ. FT.)

**PROPERTY OWNER CONTACT INFORMATION:**  
OWNER NAME: NAZARANA PROPERTIES INC  
PHONE: (979) 450-3350  
EMAIL: aslunaty@gmail.com

PROP - LAMPO'S GROCERY  
LOCATED AT  
4311 N TEXAS AVE, BRYAN, TX 77803



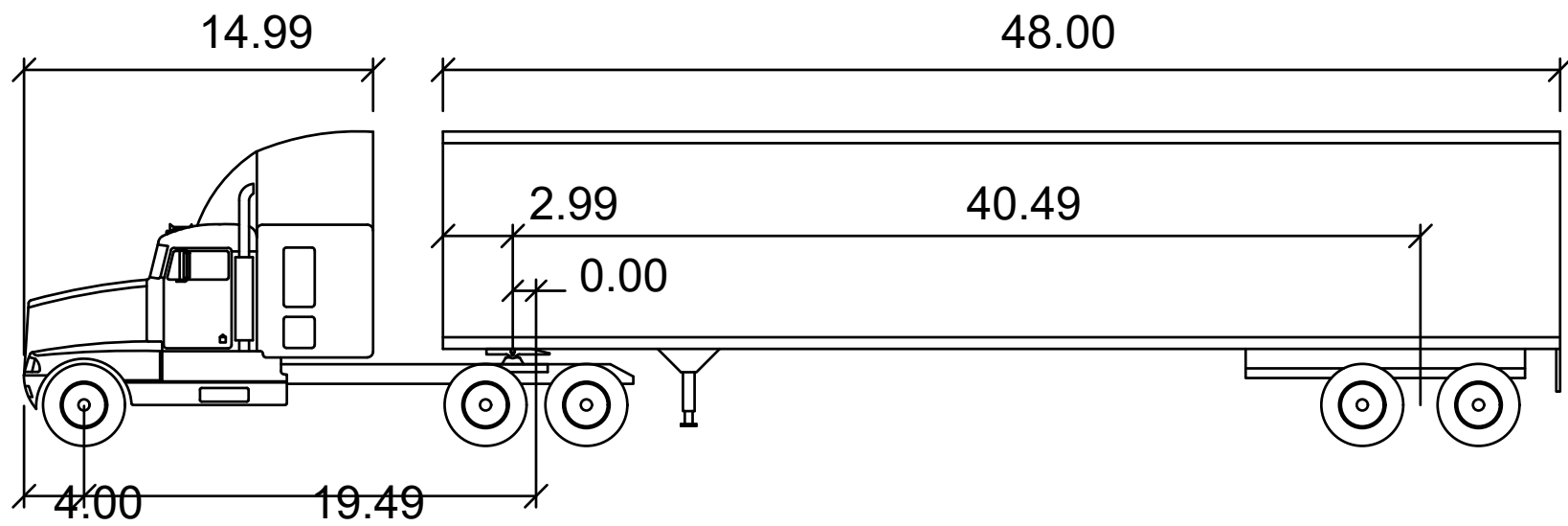
DATE: 03/06/2025

PROJECT NUMBER : 25-006  
SCALE :  
DRAWN BY : R.R.  
CHECKED BY : A.Z  
SHEET TITLE :

**LANDSCAPING  
SITE PLAN**

DRAWING NUMBER:  
**L-100**

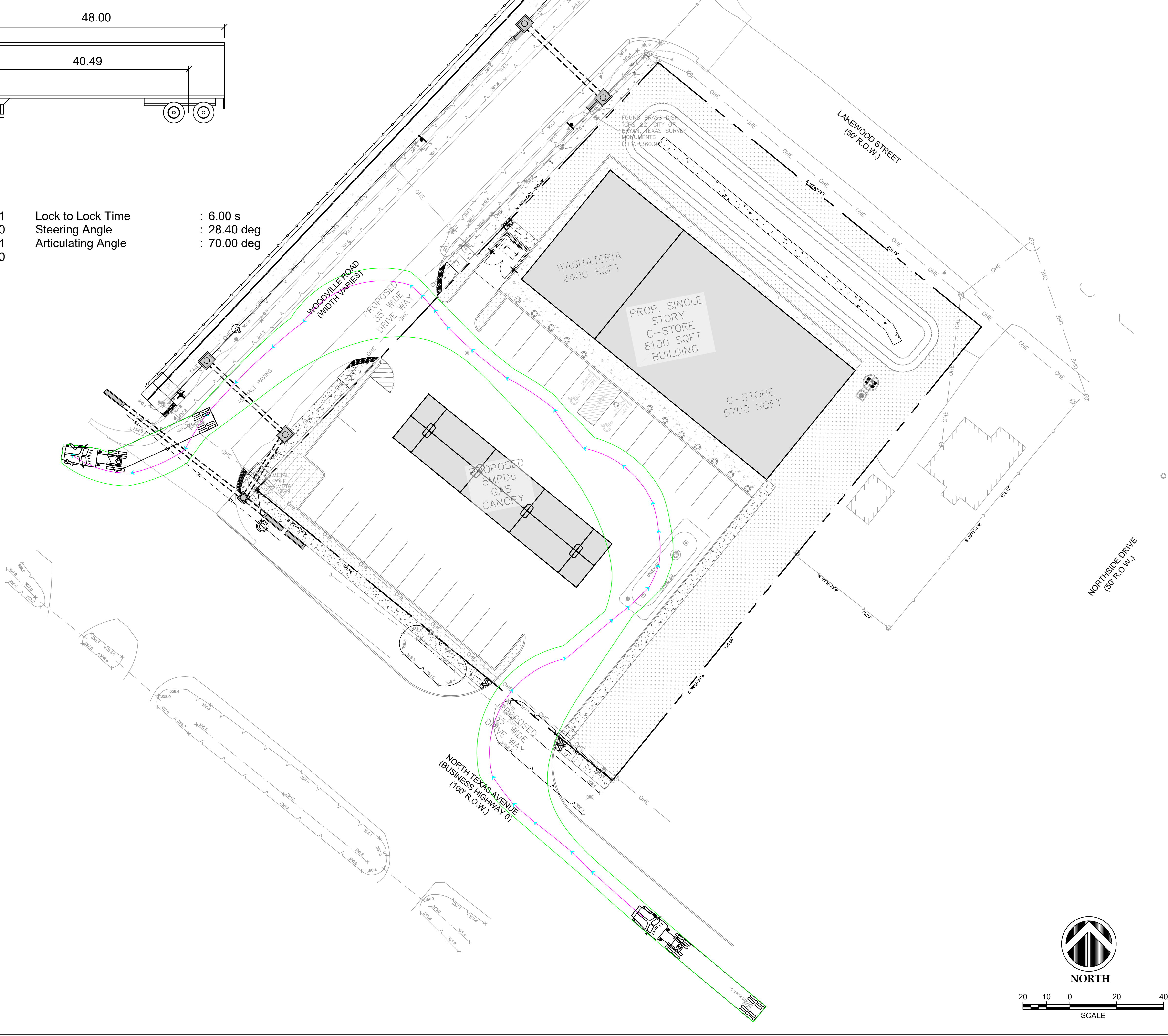




WB-62

|               |        |                    |             |
|---------------|--------|--------------------|-------------|
| Tractor Width | : 8.01 | Lock to Lock Time  | : 6.00 s    |
| Trailer Width | : 8.50 | Steering Angle     | : 28.40 deg |
| Tractor Track | : 8.01 | Articulating Angle | : 70.00 deg |
| Trailer Track | : 8.50 |                    |             |

Feet



ISSUE FOR:

FOR INTER REVIEW ONLY

BID ONLY

PERMITS SET

CONSTRUCTION SET

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |

MAKMO DESIGN

86 ZENITH LANE, SUGAR LAND, TX 77498

PH # 832-231-7047 18PE FIRM # 21236

LEGAL DESCRIPTION:

TOPOGRAPHY SURVEY OF LOTS 1, 2, 3, 6, 7, 8, BLOCK 1, MARGARET WALLACE SUBDIVISION, VOLUME 138, PAGE 573, B.C.P.R., LOCATED IN THE MOSES BAINE LEAGUE, A-3, BRAZOS COUNTY, TEXAS

LOT AREA:

1.072 ACRES (46,676.04 SQ. FT.)

PROPERTY OWNER CONTACT INFORMATION:

OWNER NAME: NAZARANA PROPERTIES INC

PHONE: (979) 450-3350

EMAIL: asifumadhy@gmail.com

PROP – LAMPO’S GROCERY

LOCATED AT

4311 N TEXAS AVE, BRYAN, TX 77803

SEAL :

STATE OF TEXAS

ASHLEY BICE

134060

REGISTERED PROFESSIONAL ENGINEER

2/12/25

DATE: 03/06/2025

PROJECT NUMBER : 25-006

SCALE : 1"=20'

DRAWN BY : R.R.

CHECKED BY : A.Z

SHEET TITLE :

GAS TRUCK DELIVERY AUTO-TURN EXHIBIT

DRAWING NUMBER:

C-201

MAKMO DESIGN - DESIGN WITH A DIFFERENT APPROACH