

PROPOSED "C-STORE & GAS STATION"

LOCATED AT

4311 N TEXAS AVE, BRYAN, TX 77803

ISSUE FOR:
FOR INTER REVIEW ONLY
BID ONLY
PERMITS SET
CONSTRUCTION SET

REVISIONS:
NO. DATE DESCRIPTION

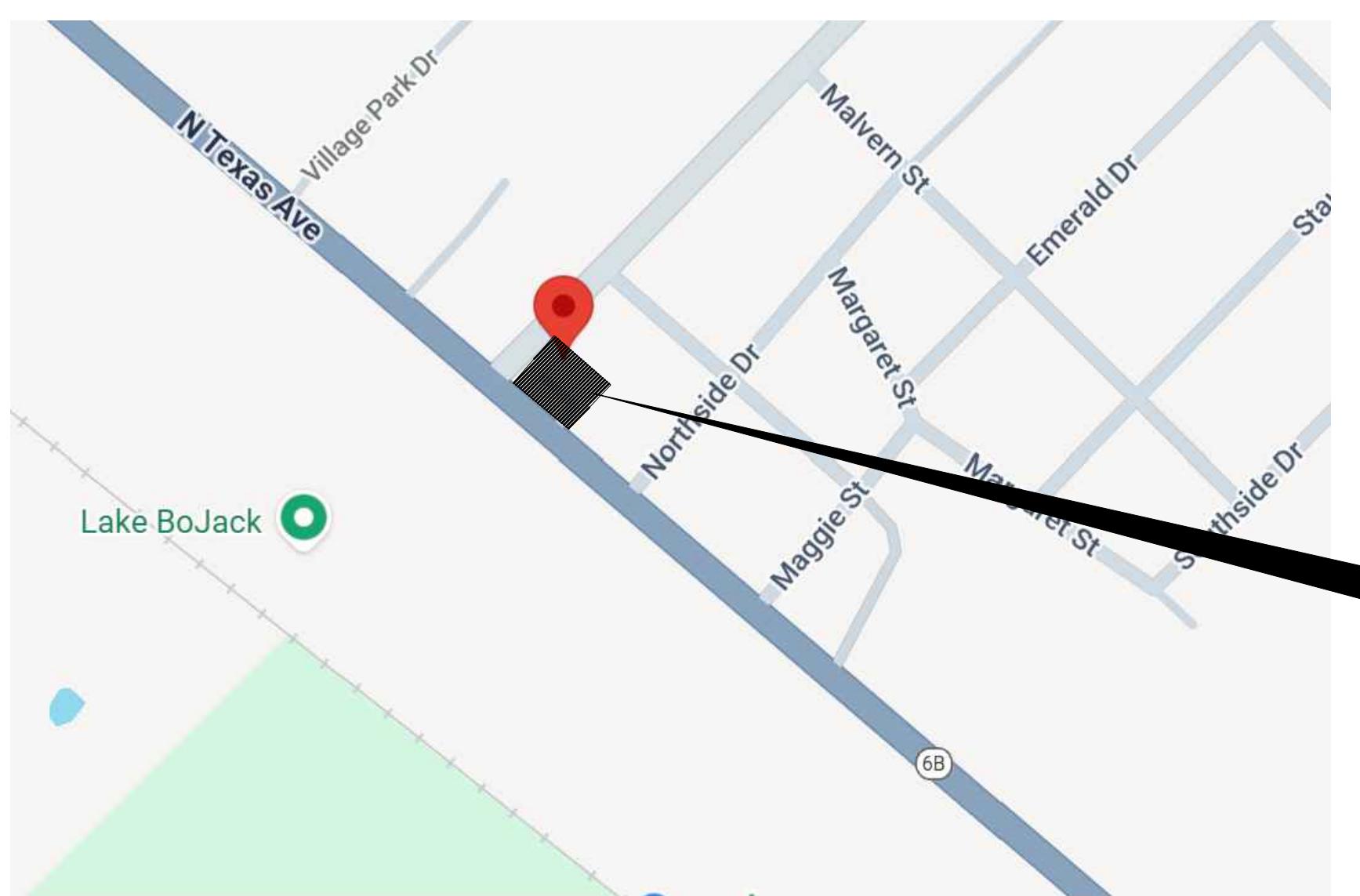


MAKMO DESIGN
86 ZEPHYR LANE, SUGAR LAND, TX 77498
PH # 832-237-7047 TBL FIRM # 21236

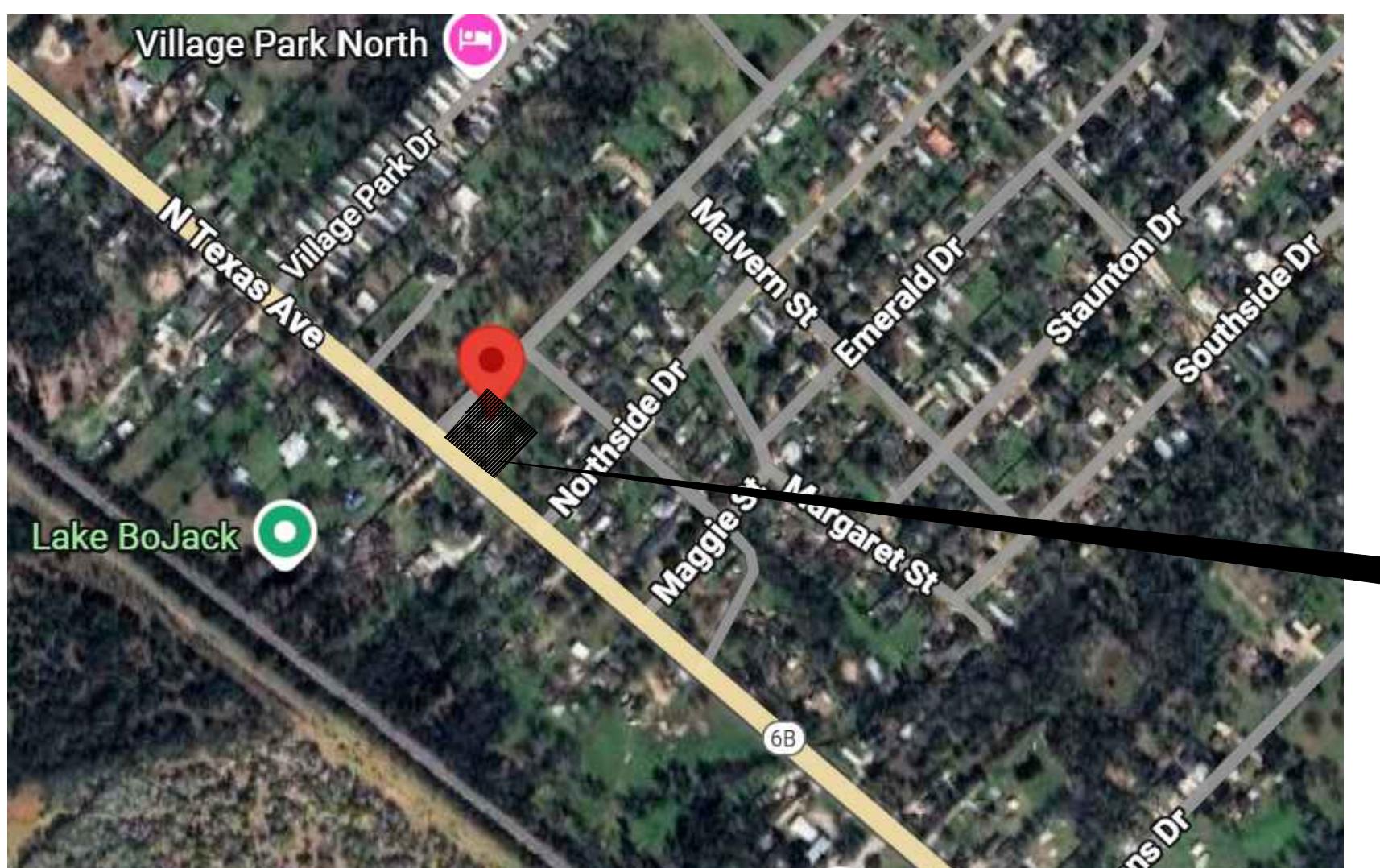
LEGAL DESCRIPTION:
TOPOGRAPHY SURVEY OF LOTS 1, 2, 3, 6, 7, 8.
BLOCK 1
MARGARET WALLACE SUBDIVISION
VOLUME 138, PAGE 573, B.C.P.R.
LOCATED IN THE MOSES BANE LEAGUE, A-3,
BRAZOS COUNTY, TEXAS

LOT AREA:
1.072 ACRES (46,676.04 SQ. FT.)
PROPERTY OWNER CONTACT INFORMATION:
OWNER NAME: NATARANA PROPERTIES INC
PHONE: (979) 430-3350
EMAIL: asturnathy@gmail.com

PROP - LAMPO'S GROCERY
LOCATED AT
4311 N TEXAS AVE, BRYAN, TX 77803



VICINITY MAP
SCALE: N.T.S



PROJECT LOCATION
SCALE: N.T.S

FLOOD PLAN INFORMATION	
THE SUBJECT PROPERTY IS NOT LOCATED IN FEDERAL INSURANCE ADMINISTRATION DESIGNATED FLOOD HAZARD AREA AND IS IN ZONE "X" MAP NO. 48041C0185E.	
DATED: 5/16/2012. THIS INFORMATION IS BASED ON GRAPHIC PLOTTING ONLY. WE DON'T ASSUME RESPONSIBILITY FOR EXACT DETERMINATION.	

DEVELOPMENT AREA	
TOTAL ACREAGE	= 1.07 ACRES
PROPOSED DEVELOPMENT	= 1.07 ACRES
TYPE OF DEVELOPMENT	= 1 STORY BUILDING

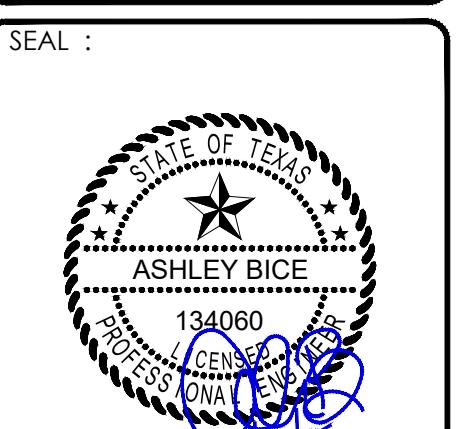
PROJECT DESCRIPTION

PROJECT NAME : PROPOSED "C-STORE AND GAS STATION"
LOCATION : 4311 N TEXAS AVE, BRYAN, TEXAS 77803
PROJECT DESCRIPTION : PROPOSED C-STORE 5,700 SQ.FT AND WASHATERIA AREA OF 2,400 SQ.FT EACH.

SHEET INDEX

CIVIL

- C-0.0 COVER SHEET
- C-1.0 DEMOLITION PLAN
- C-2.0 SITE PLAN
- C-3.0 GRADING PLAN
- C-3.1 DRAINAGE PLAN
- C-3.2 SITE SECTION & DRAINAGE CALCULATIONS
- C-4.0 EROSION CONTROL PLAN
- C-5.0 UTILITY PLAN
- C-6.0 PAVING PLAN
- C-7.0 SITE DETAILS
- C-7.1 CONSTRUCTION DETAILS
- C-7.2 SWPPP DETAILS
- L-100 LANDSCAPE SITE PLAN
- C-201 GAS TRUCK DELIVERY AUTO-TURN EXHIBIT



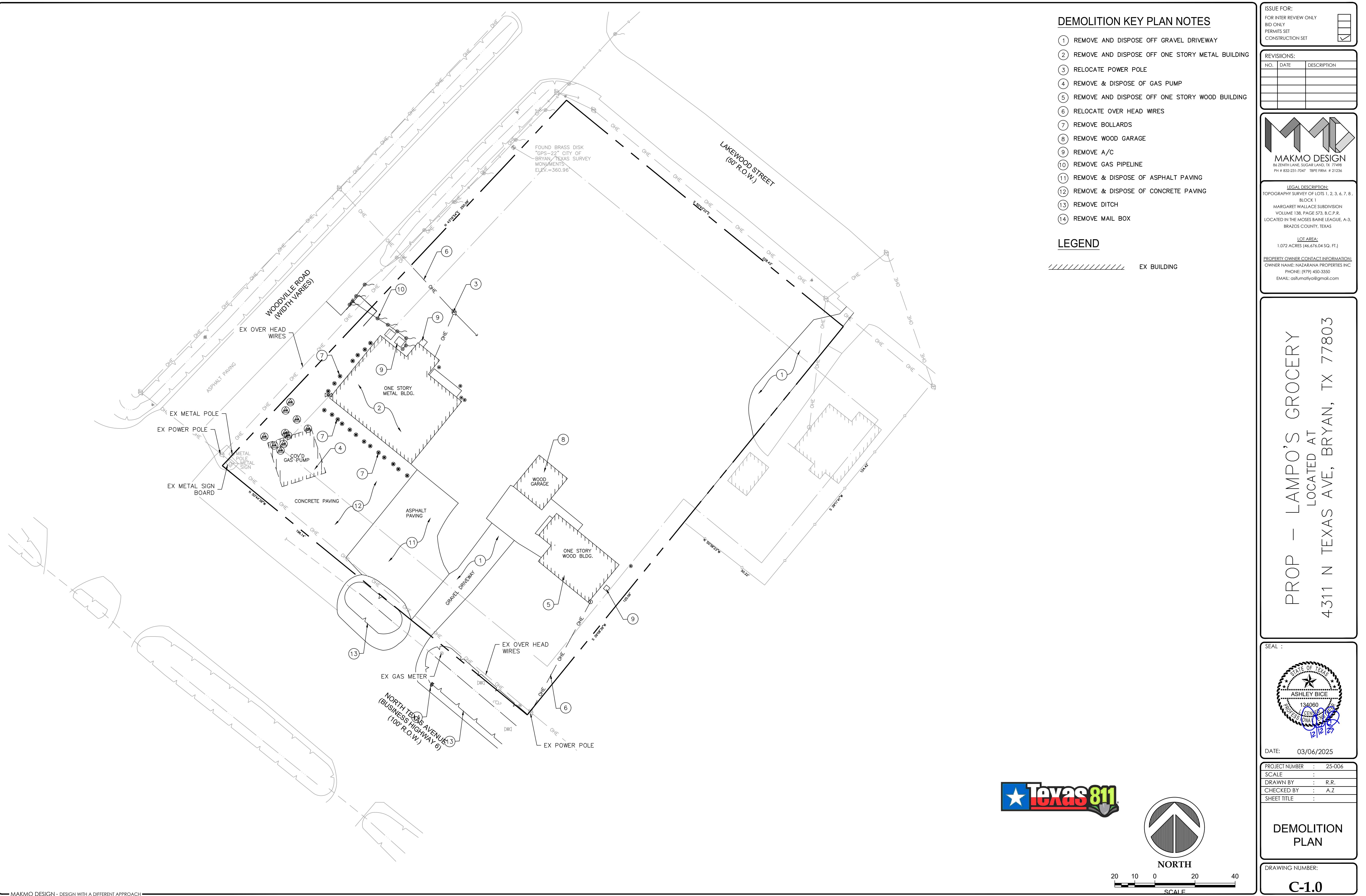
DATE: 03/06/2025

PROJECT NUMBER :	25-006
SCALE :	
DRAWN BY :	R.R.
CHECKED BY :	A.Z.
SHEET TITLE :	

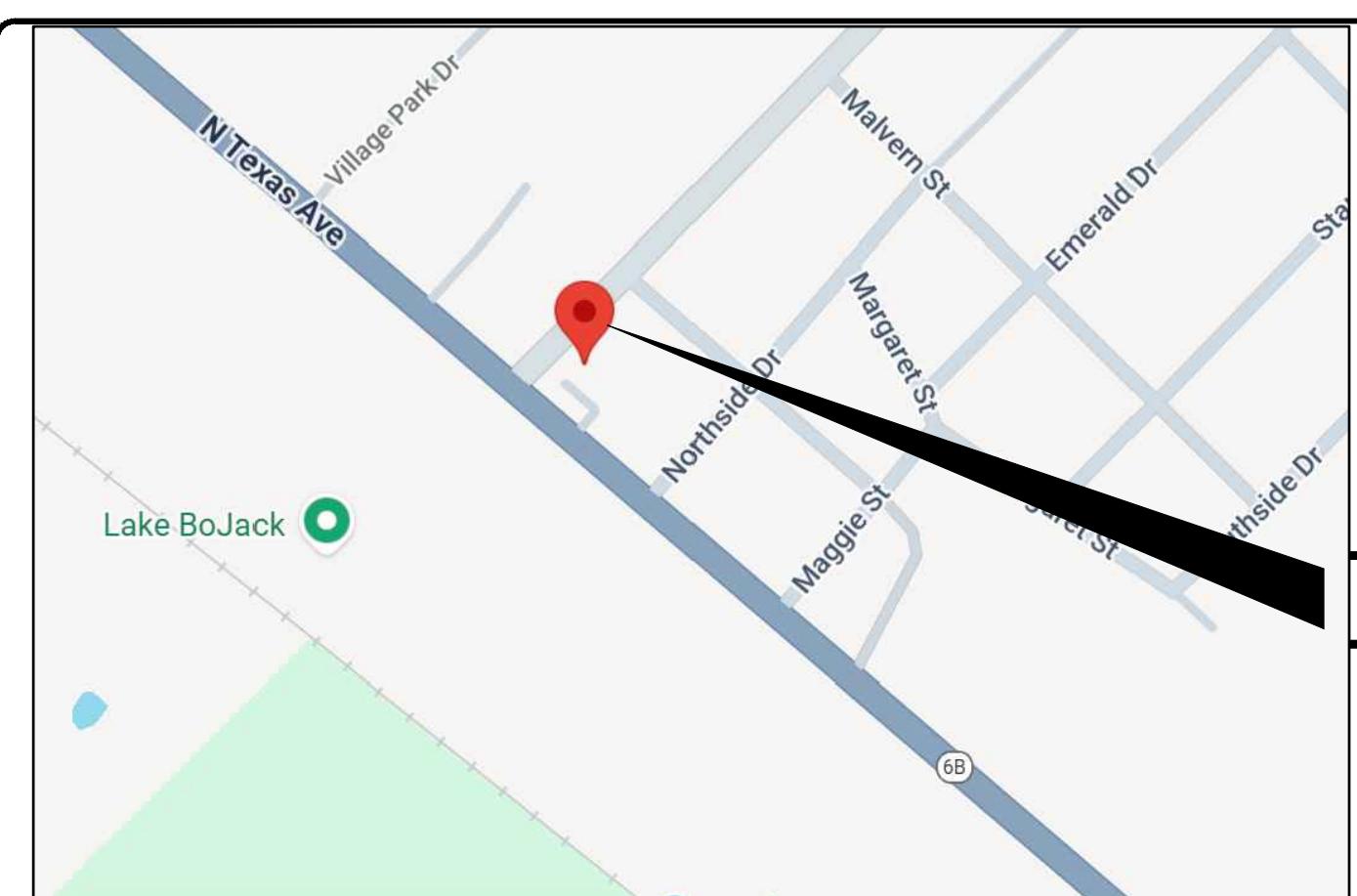
COVER SHEET

DRAWING NUMBER:

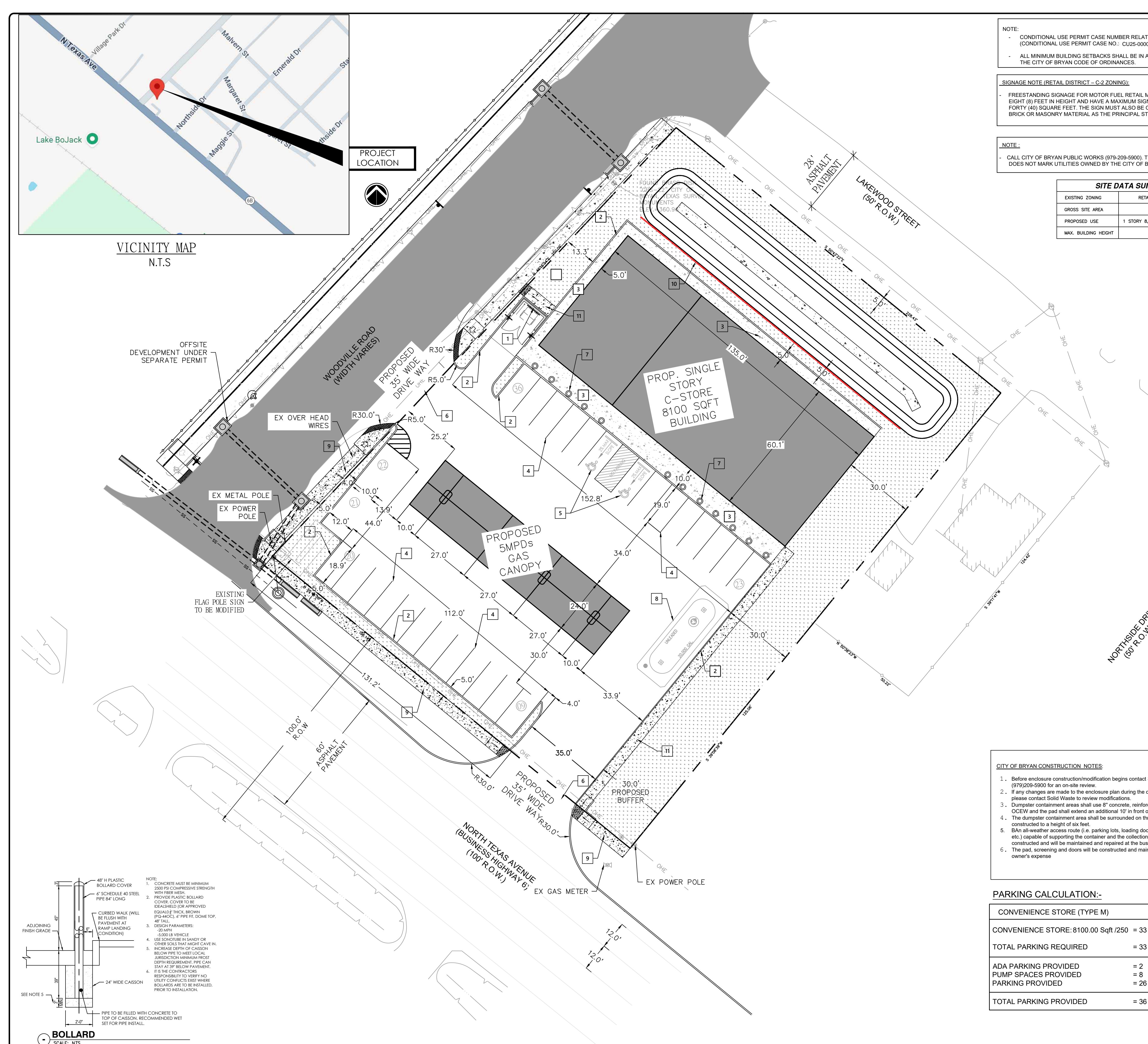
C-0.0



— MAKMO DESIGN - DESIGN WITH A DIFFERENT APPROACH



VICINITY MAP
N.T.S.



CONSTRUCTION NOTES:

- 1 TRASH ENCLOSURE SEE DETAIL ON SHEET A-2.3
- 2 6" CONCRETE CURB SEE DETAIL ON SHEET C-7.0.
- 3 CONCRETE SIDEWALK SEE DETAIL ON SHEET C-7.0.
- 4 NEW PAVEMENT MARKING FOR PARKING SPACES
- 5 FOR ADA PARKING DETAIL AND SIGN REFER DETAIL ON SHEET C-6.0.
- 6 NEW DRIVEWAY PER CITY STANDARD DETAIL NO. ST2-03. SEE DETAIL ON SHEET C-7.1.
- 7 INSTALL NEW BOLLARDS. SEE DETAIL ON THIS SHEET.
- 8 PROPOSED FUEL TANK LOCATION.
- 9 5'0" CONCRETE SIDEWALK SEE DETAIL NO. SW1-02A ON SHEET C7.1
- 10 RETAINING WALL, REFER GRADING PLAN FOR WALL HEIGHT.
- 11 5'-0" WALKWAY OF PAVERS OR BRICKS, OR STAMPED/SCORED CONCRETE.

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DIMENSION LAYOUT NOTES:

1. THE CONTRACTOR SHALL LAYOUT AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR DIRECTION AND RESOLUTION OF DISCREPANCIES PRIOR TO PROCEEDING.
2. VERIFY LOCATION OF ALL NEW IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS, IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT THE ENGINEER FOR INSTRUCTION PRIOR TO COMMENCING WORK.
3. WHEN DIMENSIONS ARE CALLED AS "EQUAL", ALL REFERENCED ITEMS SHALL BE SPACED EQUALLY, MEASURED TO THEIR CENTER LINES.
4. ALL DIMENSIONS ARE PERPENDICULAR TO FACE OF BUILDING, WALL OR OTHER FIXED SITE IMPROVEMENT AND DIMENSIONS AT CURB ARE FROM BACK OF CURB UNLESS OTHERWISE NOTED.
5. INSTALL ALL INTERSECTING ELEMENTS AT 90 DEGREES TO EACH OTHER UNLESS OTHERWISE NOTED.

EXPANSION JOINTS:
PROVIDE EXPANSION JOINTS IN ALL CASES WHERE CONCRETE FLATWORK MEETS OTHER STRUCTURES SUCH AS WALLS, CURBS, STEPS & BUILDINGS OR WHERE CONCRETE ABUTS EXISTING CONCRETE PAVING, UTILITY VAULTS, JUNCTION BOXES, ETC. EXPANSION JOINTS REQUIRED AT THESE STRUCTURES MAY NOT BE SHOWN ON THESE DRAWINGS BUT ARE A CONSTRUCTION REQUIREMENT. SEE DETAILS FOR LOCATIONS THAT REQUIRE INSTALLATION OF DOWELS.

GENERAL NOTES:

1. LOCATIONS OF THE EXISTING UTILITIES ARE BASED ON RECORDS FROM SAID UTILITY COMPANIES AND ARE HORIZONTALLY FIELD LOCATED ONLY. THE CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS.
2. CONTRACTOR TO UNCOVER AND MARK UTILITY LINES BEFORE CONSTRUCTION.
3. CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COST OF REPAIR OR REPLACEMENT OF EXISTING UTILITIES, DAMAGED OR INTERRUPTED AS A RESULT OF CONSTRUCTION ACTIVITIES.
4. CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE OWNER OF ANY DAMAGED OR INTERRUPTED UTILITIES IMMEDIATELY.
5. ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL WATER STANDARD PIPELINE MATERIALS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
6. ELEVATION LEVELS TO REMAIN ARE TO BE ADJUSTED TO MATCH PROPOSED GRADE.
7. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER PRIOR TO BEGINNING WORK.
8. ALL AREAS WITHIN THE PAVED AREAS ARE TO RECEIVE A GRAVEL BASE TO PROTECT GROUND FROM WORK IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 135 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
9. ALL AREAS NOT WITHIN THE PAVED AREA ARE TO RECEIVE LOOSE STRAW TO PROVIDE EROSION CONTROL IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 1.5 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
10. AFTER NEW INLETS ARE CONSTRUCTED, INSTALL INLET PROTECTION PER DETAIL.
11. CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC STREETS.
12. CONTRACTOR IS TO PROTECT EXISTING STORM DRAINAGE SYSTEM.
13. CONTRACTOR TO CONFORM TO ALL CONSTRUCTION STORM WATER AND EROSION CONTROL PERMITTING REQUIREMENTS BY "EPA PHASE II STORM WATER REGULATIONS" AS ADMINISTERED BY THE TEXAS COMMISSION OF ENVIRONMENTAL QUALITY. WHERE PERMITTING IS REQUIRED, A COPY OF THE ACTUAL OR INTENT SHALL BE PROVIDED TO THE LOCAL MUNICIPAL AUTHORITY.
14. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN ACCORDANCE WITH THE TEXAS UNDERGROUND FACILITIES DAMAGE PREVENTION ACT. THIS LAW REQUIRES THAT THE CONTRACTOR MAKE A TELEPHONE CALL TO THE TEXAS ONE CALL SYSTEM AT 1-800-344-8377 (811) AT LEAST TWO WORKDAYS PRIOR TO EXCAVATION TO ENSURE THAT ANY EXISTING UTILITIES CAN BE LOCATED.
15. CONTRACTOR TO CONSTRUCT ALL ACCESS RAMPS AND PAVING TO ADA STANDARDS. VERIFY.
16. TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
17. EXCESS EXPORTS SHALL BE STOCKPILED AT LOCATION APPROVED BY OWNER AND CONFIRMED BY ENGINEER OF RECORD.

CITY OF BRYAN CONSTRUCTION NOTES:

1. Before enclosure construction/modification begins contact Solid Waste, at (979)209-5900 or an on-call contractor.
2. If any changes are made to the enclosure plan during the construction phase please contact Solid Waste to review modifications.
3. Dumpster containment areas shall use 8" concrete, reinforced with #5 bars at 12" OC/EW and the pad shall extend an additional 10' in front of the containment area.
4. The dumpster containment area shall be surrounded on three sides with a screen containing a 1/2" mesh.
5. Bins shall have an access route (i.e. parking lots, loading docks, private roads, alleys, etc.) capable of supporting the container and the collection truck must be constructed and will be maintained and repaired at the business owner's expense.
6. The pad, screening and doors will be constructed and maintained at the property owner's expense.

PARKING CALCULATION:-

CONVENIENCE STORE (TYPE M)
CONVENIENCE STORE: 8100.00 Sqft /250 = 33
TOTAL PARKING REQUIRED = 33
ADA PARKING PROVIDED = 2
PUMP SPACES PROVIDED = 8
PARKING PROVIDED = 26
TOTAL PARKING PROVIDED = 36



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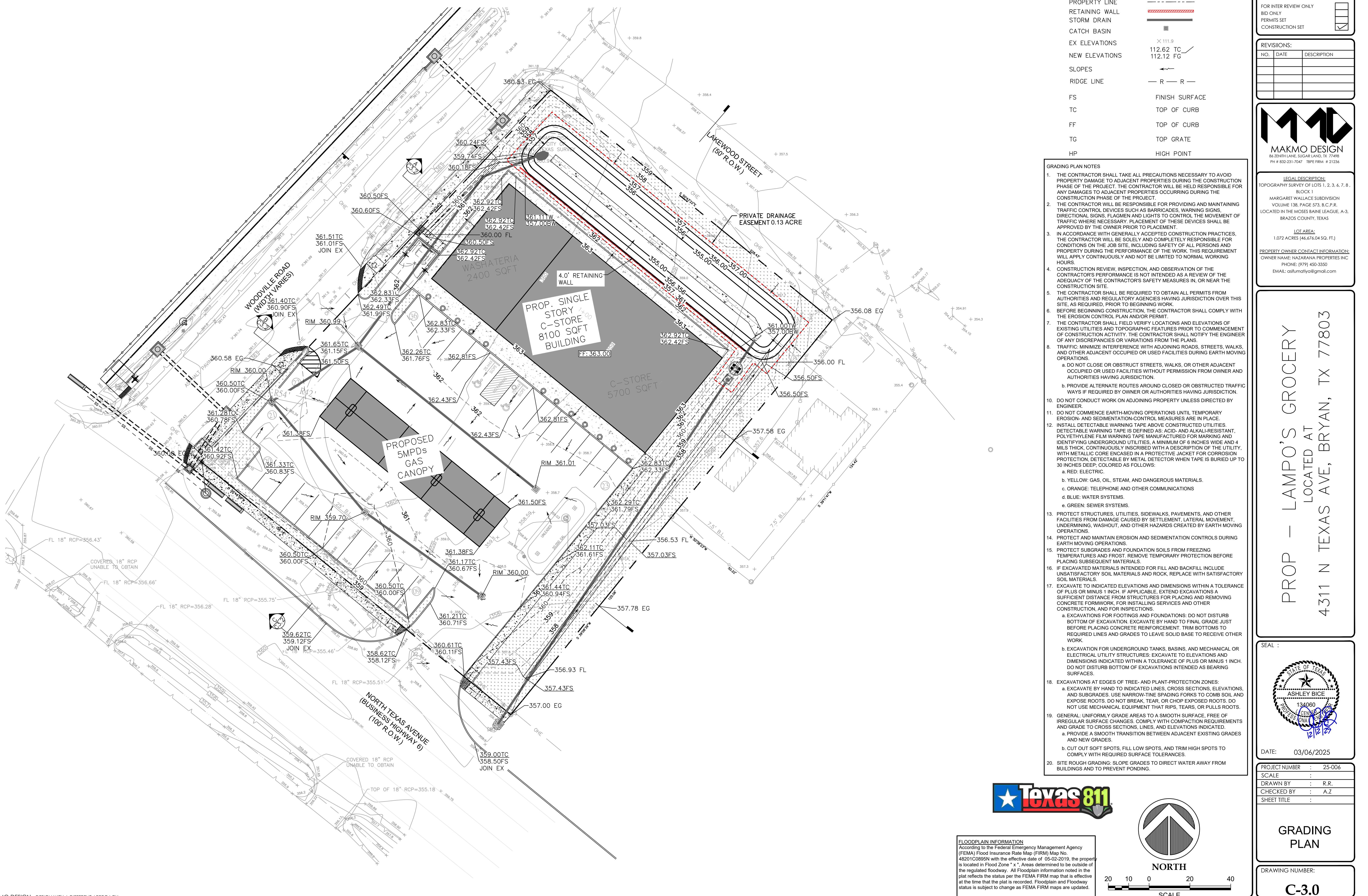
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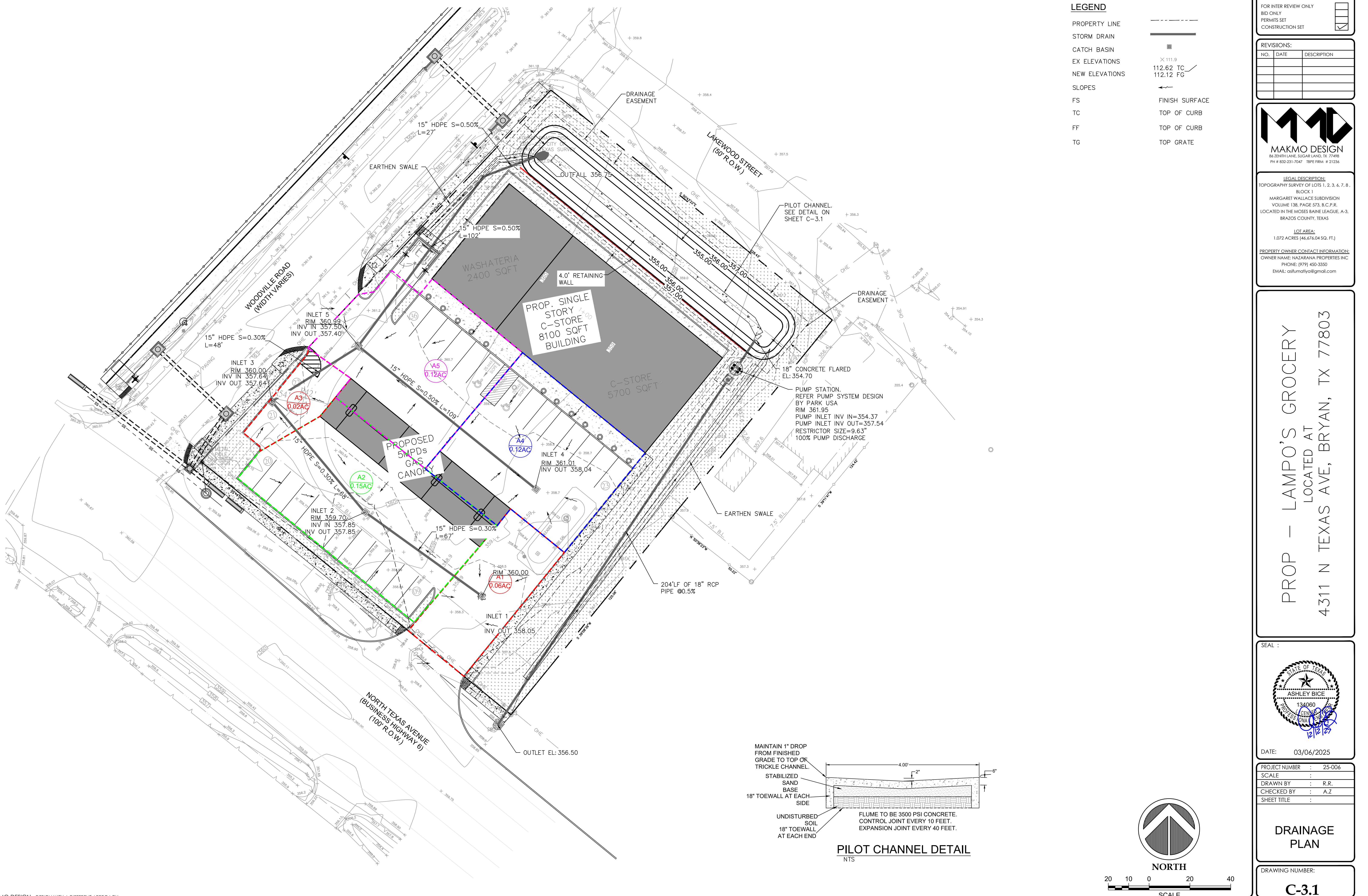
SITE PLAN

NORTH

SCALE: 20 10 0 20 40

DRAWING NUMBER: C-2.0





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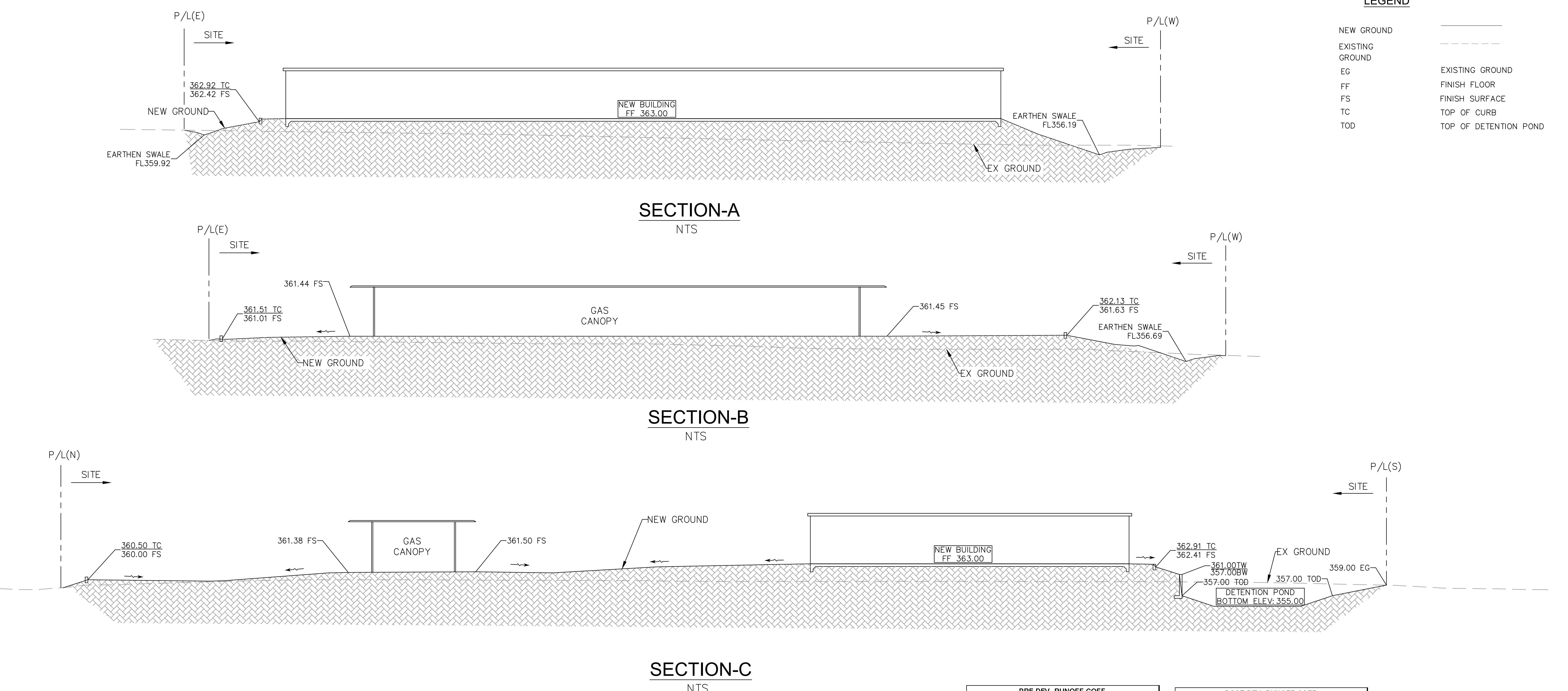
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LOCATED IN THE MOSES BAINE LEAGUE, A-3,
BRAZOS COUNTY, TEXAS

LOT AREA:
1.072 ACRES (46,676.04 SQ. FT.)

PROPERTY OWNER CONTACT INFORMATION:
OWNER NAME: NAZARANA PROPERTIES INC
PHONE: (979) 450-3350
EMAIL: csufmallya@gmail.com

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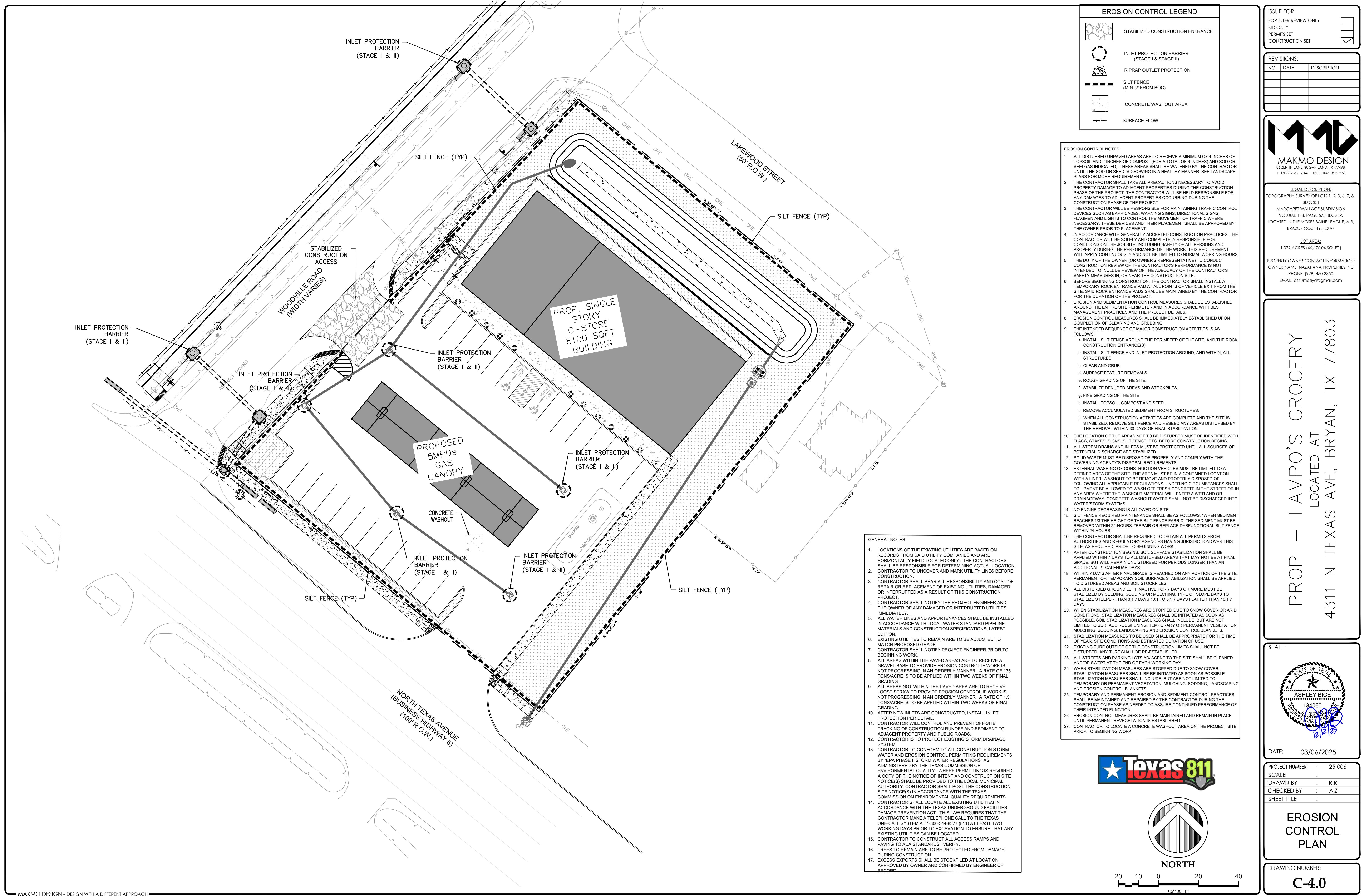
STORM SEWER CALCULATION FORM																							
BASED ON INTENSITY DURATION CURVE (NOAA ATLAS 14)-FOR 100YR RAINFALL FREQUENCY																							
MH OR INLET		AREA		REACH		I		"CI"		LINE		DESIGN		FLOWLINE									
FROM	TO	AREA	INCR	TOTAL	REACH	T	I	"CI"	Q	GRADE	SIZE	AREA	"N"	R	V	Q	UPSTREAM	DOWNST	FALL	FRIC	HEAD	HGL UP	HGL DOWN
			AC	AC	FEET	MIN	IN/HR		CFS	%	IN	SQFT	VALUE	IN	FPS	CFS	REAM	REAM	FT	S _f	H _f		
INLET 1	INLET 2	A1	0.06	0.06	67	21.09	7.28	5.3171	0.32	0.30	15	1.2277	0.012	0.31	3.42	4.19	358.05	357.85	0.20	0.000021	0.0014	358.178	358.177
INLET 2	INLET 3	A2	0.15	0.21	68	22.60	7.05	5.1450	0.18	0.30	15	1.2277	0.012	0.31	3.42	4.19	357.85	357.64	0.21	0.000239	0.0162	358.177	358.161
INLET 3	INLET 5	A3	0.02	0.23	48	22.72	7.03	5.1315	1.18	0.30	15	1.2277	0.012	0.31	3.42	4.19	357.64	357.50	0.14	0.000285	0.0137	358.161	358.147
INLET 4	INLET 5	A4	0.12	0.12	109	21.88	7.16	5.2249	0.63	0.50	15	1.2277	0.012	0.31	4.41	5.41	358.04	357.50	0.55	0.000080	0.0088	358.156	358.147
INLET 5	OUTFALL	A5	0.12	0.47	129	23.76	6.88	5.0212	2.36	0.50	15	1.2277	0.012	0.31	4.41	5.41	357.40	356.75	0.64	0.001139	0.1469	358.147	358.000
																							TAILWATER ELEV 358.00

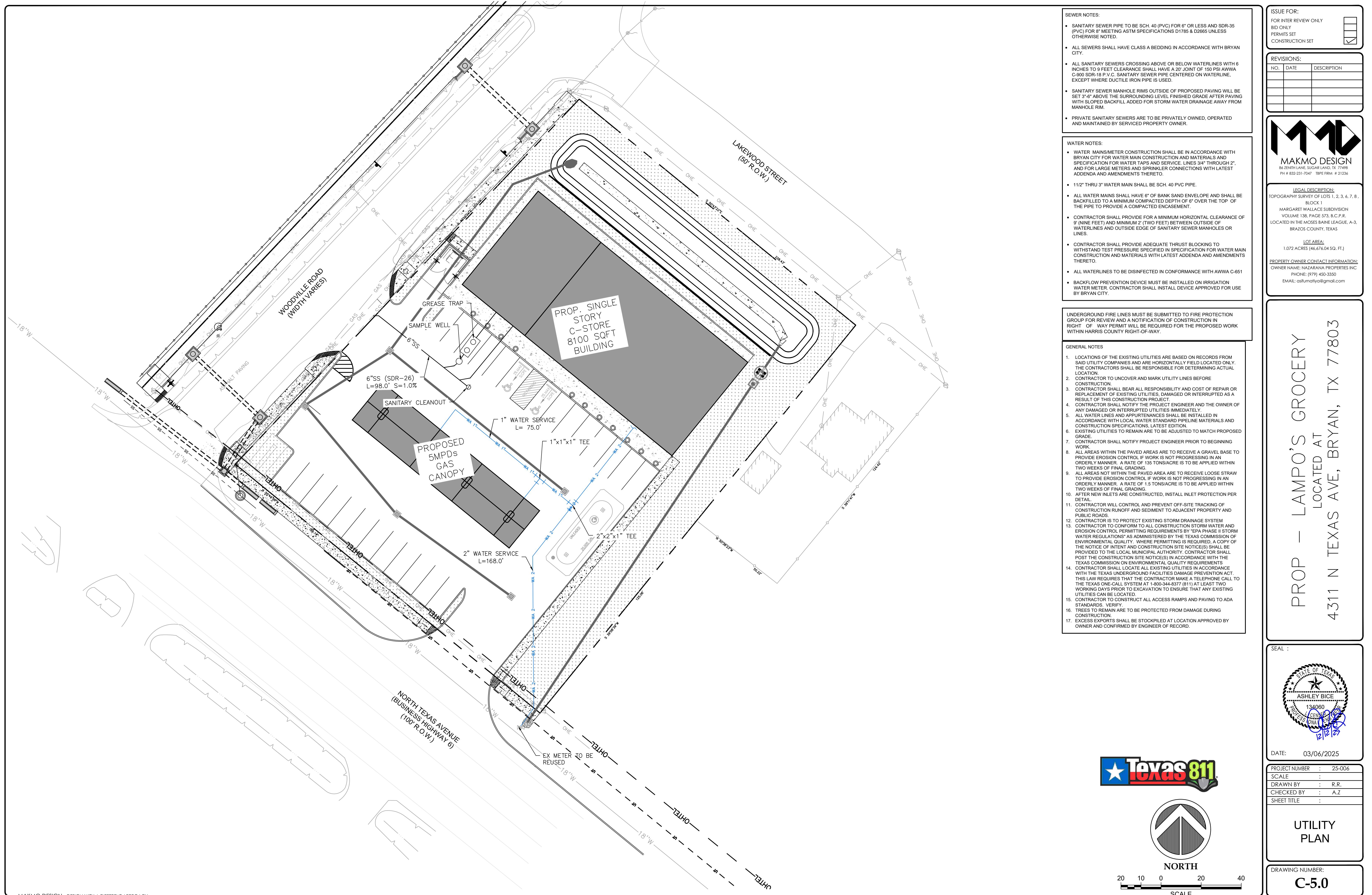
PRE-DEV. RUNOFF COFF.		POST-DEV. RUNOFF COFF.	
TOTAL CATCHMENT	AREA	TOTAL CATCHMENT	AREA
46,676 SQ.FT	46,676 SQ.FT	46,676 SQ.FT	46,676 SQ.FT
ASPHALT	2,080 C= 0.9	CONCRETE	19,914 C= 0.9
CONCRETE	5,754 C= 0.9	ROOF	10,500 C= 0.75
GRAVEL	855 C= 0.7	LANDSCAPE	11,262 C= 0.35
ROOF	3,485 C= 0.75	POUND	5,000 C= 0.9
LANDSCAPE	34,502 C= 0.35	COM. C	0.73
COM. C	0.48		

Detention Pond Storage Summary with Peak Flows – City of Bryan, TX Project						
Return Period	Pre-Dev Volume (ft³)	Post-Dev Volume (ft³)	Pre-Dev Peak (cfs)	Post-Dev Peak (cfs)	Difference (ft³)	+10% Sediment (ft³)
2-yr	9,832	12,973	4.04	5.38	3,141	3,455
10-yr	19,058	22,874	7.65	9.08	3,616	3,978
25-yr	26,358	30,128	10.39	11.86	3,770	4,147
50-yr	32,777	36,606	12.76	14.26	3,829	4,212
100-yr	40,487	44,334	15.56	17.09	3,847	4,232

STORM SEWER CALCULATION FORM																							
BASED ON INTENSITY DURATION CURVE (NOAA ATLAS 14)-FOR 10YR RAINFALL FREQUENCY																							
MH OR INLET		AREA		REACH		I		"CI"		LINE		DESIGN		FLOWLINE									
FROM	TO	AREA	INCR	TOTAL	REACH	T	I	"CI"	Q	GRADE	SIZE	AREA	"N"	R	V	Q	UPSTREAM	DOWNST	FALL	FRIC	HEAD	HGL UP	HGL DOWN
			AC	AC	FEET	MIN	IN/HR		CFS	%	IN	SQFT	VALUE	IN	FPS	CFS	REAM	REAM	FT	S _f	H _f		
INLET 1	INLET 2	A1	0.06	0.06	67	21.09	5.13	3.5426	0.21	0.30	15	1.2277	0.012	0.31	3.42	4.19	358.05	357.85	0.20	0.000009	0.0006	357.479	357.478
INLET 2	INLET 3	A2	0.15	0.21	68	22.60	4.96	3.4227	0.72	0.30	15	1.2277	0.012	0.31	3.42	4.19	357.85	357.64	0.21	0.000106	0.0071	357.478	357.471
INLET 3	INLET 5	A3	0.02	0.23	48	22.72	4.95	3.4134	0.79	0.30	15	1.2277	0.012	0.31	3.42	4.19	357.64	357.50	0.14	0.000126	0.0061	357.471	357.465
INLET 4	INLET 5	A4	0.12	0.12	109	21.88	5.04	3.4784	0.42	0.50	15	1.2277	0.012	0.31	4.41	5.41	358.04	357.50	0.55	0.000036	0.0039	357.469	357.465
INLET 5	OUTFALL	A5	0.12	0.47	129	23.76	4.84	3.3366	1.57	0.50	15	1.2277	0.012	0.31	4.41	5.41	357.40	356.75	0.64	0.000503	0.0649	357.465	357.400
																							TAILWATER ELEV 357.40

DETENTION POND STAGE STORAGE							RESTRICTOR SIZING CALCULATIONS						
STAGE	ELEVATION	CONTOUR AREA	INCREMENTAL	STORAGE CF	TOTAL	STORAGE (CF)	Q	= CA * (2g)F	D	= Q1 / (2.25 * h			





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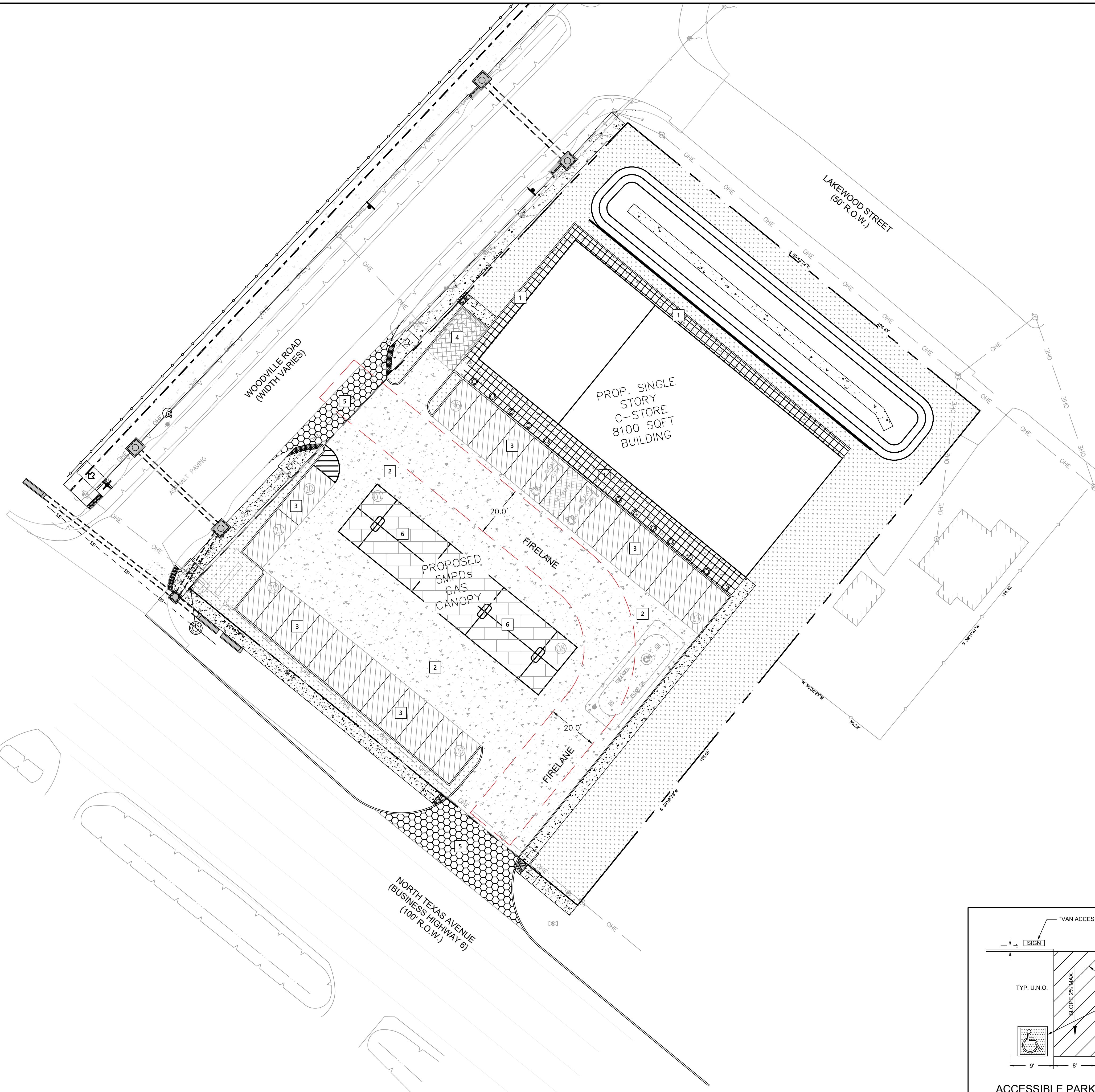
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LEGEND	
1	SIDEWALK (2,265 SQ.FT) (5" WITH #3 BARS @ 18" O.C.)
2	DRIVING PVMT (12,122 SQ.FT) (6" WITH #4 BARS @ 18" O.C.)
3	PARKING PVMT (5,100 SQ.FT) (6" WITH #4 BARS @ 24" O.C.)
4	DUMPSTER PAD (297 SQ.FT) (7" WITH #5 BARS @ 12" O.C.)
5	ASPHALT (1,780 SQ.FT) (MATCH EXISTING ROAD PAVEMENT)
6	CANOPY SLAB (2,424 SQ.FT) 8" WITH #4 BARS @ 24" O.C.)

CONCRETE PAVING NOTES:
ALL CONCRETE SHALL BE IN ACCORDANCE TO THE BUILDING CODE REQUIREMENT IN THE ACI 318-08. ALL CONCRETE SHALL MEET THESE MINIMUM SPECIFICATION.

PAVING CONCRETE STRENGTH: 3500 PSI @ 28 DAYS
SLUMP: 3-4"
MAX COARSE AGGREGATE SIZE: 1"

- FORM WORK DESIGN IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE REMOVED UNTIL THE CONCRETE HAS GAINED SUFFICIENT STRENGTH TO CARRY ITS OWN WEIGHT PLUS APPLIED CONSTRUCTION LOADS.
- CONCRETE PLACEMENT SHALL BE ACCOMPLISHED BY DIRECT CHUTE FROM THE MIXER TRUCK, CRANE AND BUCKET OR BY PUMPING FROM THE NEAREST POINT OF DUMPING AND BY PLACEMENT OF CONCRETE HAVING MORE THAN 100' FROM THE POINT OF DUMPING.
- TO PREVENT EXCESS AND UNCONTROLLED CRACKING, CONTROL JOINTS SHOULD BE PROVIDED AT 12' MAX. SPACING IN EACH DIRECTION. CONTROL JOINTS MAY BE SAW CUT, METAL KEYWAY OR REMOVABLE STRIP TYPE. EXPANSION JOINTS SHALL BE PROVIDED AND LOCATED AS SHOWN. EXPANSION JOINTS SHALL BE FILLED WITH AN ELASTOMERIC JOINT FILLER MATERIAL. SEE PLAN FOR EXACT LOCATION OF JOINTS. FOR SIDEWALKS, PROVIDE EXPANSION JOINTS @ 20' O.C. AND CONTROL JOINTS @ 5' O.C. MAX.

PAVING METHODS:
• 5" CONCRETE PAVING REINFORCED WITH #3 BARS @ 18" O.C.E.W. OVER 6" SUBGRADE WITH ABOUT 6% LINE-FLY ASH BY DRY UNIT WEIGHT STABILIZED.

(DRIVING AREA)

• 6" CONCRETE PAVING REINFORCED WITH #4 BARS @ 24" O.C.E.W. OVER 6" SUBGRADE WITH ABOUT 6% LINE-FLY ASH BY DRY UNIT WEIGHT STABILIZED.

(PARKING AREA)

• 6" CONCRETE PAVING REINFORCED WITH #4 BARS @ 18" O.C.E.W. OVER 6" SUBGRADE WITH ABOUT 6% LINE-FLY ASH BY DRY UNIT WEIGHT STABILIZED.

(DRIVING ISLE)

• 7" CONCRETE PAVING REINFORCED WITH #5 BARS @ 12" O.C.E.W. OVER 9" SUBGRADE WITH ABOUT 6% LINE-FLY ASH BY DRY UNIT WEIGHT STABILIZED.

(DUMPSTER LOCATION)

• 8" CONCRETE PAVING REINFORCED WITH #4 BARS @ 18" O.C.E.W. OVER 8" LIME STABILIZED SUBGRADE. 60' MAX HEADER SPACING, MIN 16" LAP SPLICE

(CONCRETE DRIVEWAY APRON)

• 8" BLACK BASE, 8" STABILIZED LIME SUBGRADE, 2.5-3" TYPE D

REINFORCING STEEL NOTES:
• REINFORCING BARS SHALL CONFORM TO ASTM A-615, GRADE 60. BARS SHOULD BE NEW, CLEAN AND FREE OF CORROSION OR OXIDATION.

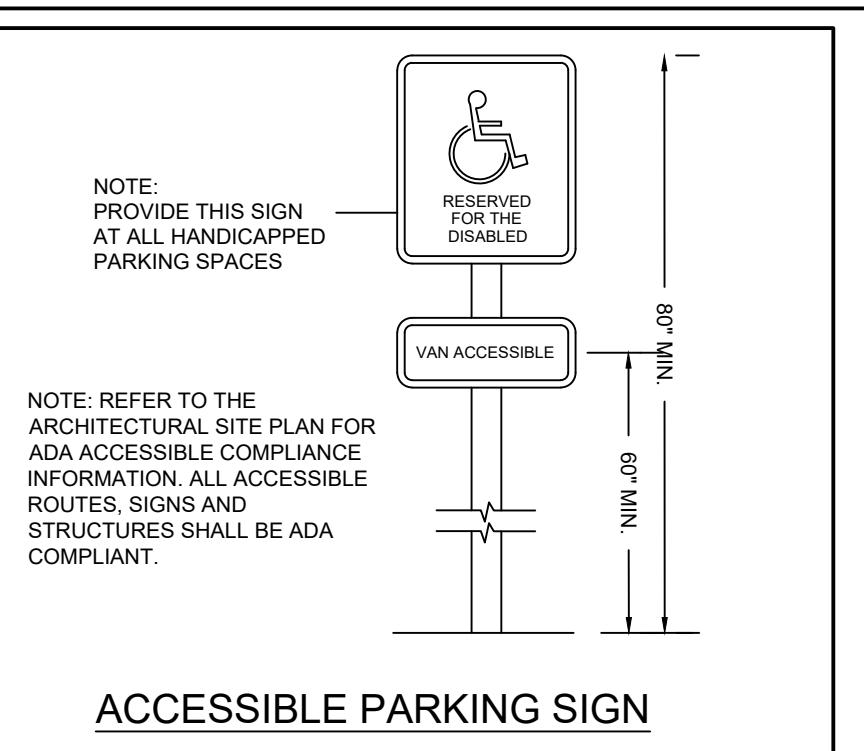
• DESIGN AND FABRICATION OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE, ACI 315-80, UNLESS SHOWN OTHERWISE CONTINUOUS BARS 30 BAR DIAMETERS AT SPLICES, 12" MIN.

• REINFORCING BARS MAY NOT BE WELDED WITHOUT THE APPROVAL OF THE CIVIL ENGINEER.

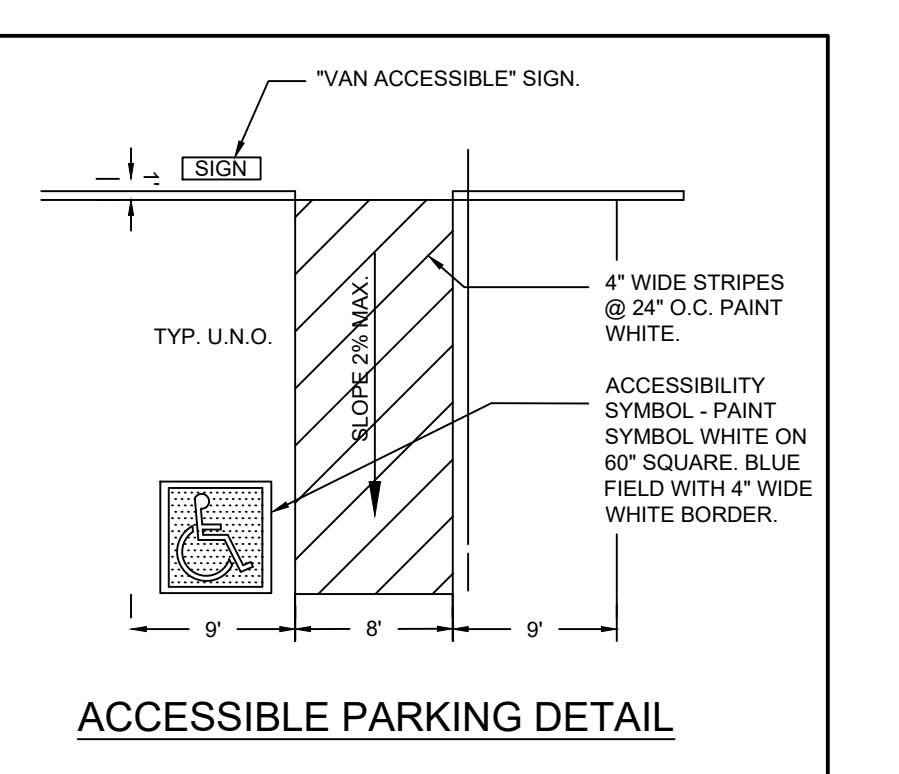
• PROVIDE NECESSARY TIES AND BAR SUPPORTS AS REQUIRED BY THE MANUAL OF STANDARD PRACTICE, ACI 315-80, CHAPTER 3. BRICK, ROCK OR MASONRY BLOCKS ARE NOT ACCEPTABLE SUPPORTS. CHAIRS AND BOLSTERS FOR DIRECTLY ON GROUND, POLY SHEETS SHALL BE EQUIPPED WITH BOTTOM BEARING PLATES.

• CONCRETE COVERAGE FOR THE REINFORCING STEEL SHALL COMPLY WITH THE ACI 318-08 CODE, ARTICLE 7.7.1, EXCEPT WHERE STATED SPECIFICALLY OTHERWISE.

SITE PREPARATION NOTES:
• THE CONTRACTOR SHALL FOLLOW THE GUIDELINES SET FORTH WITHIN THE GEOTECHNICAL REPORT FOR SITE PREPARATION AND PAVING AND IS ADVISED TO GET IT SUPERVISED AND/OR INSPECTED WITH THE GEOTECHNICAL FIRM AS REQUIRED. THE MINIMUM SITE COMPACTION UNDER PAVING AND OVER UTILITIES SHALL BE 95% OR HIGHER. PROCTOR WITH FILL PLACED IN 8' LIFTS. SUBGRADE SHALL BE STABILIZED BY DRY UNIT WEIGHT STABILIZED BY DRY UNIT WEIGHT. THE STABILIZED CLAYS SHOULD BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY IN A MOISTURE CONTENT RANGE OF -1% TO +4% OF THE SOILLINE MIXTURE'S OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D-698.



ACCESSIBLE PARKING SIGN



ACCESSIBLE PARKING DETAIL

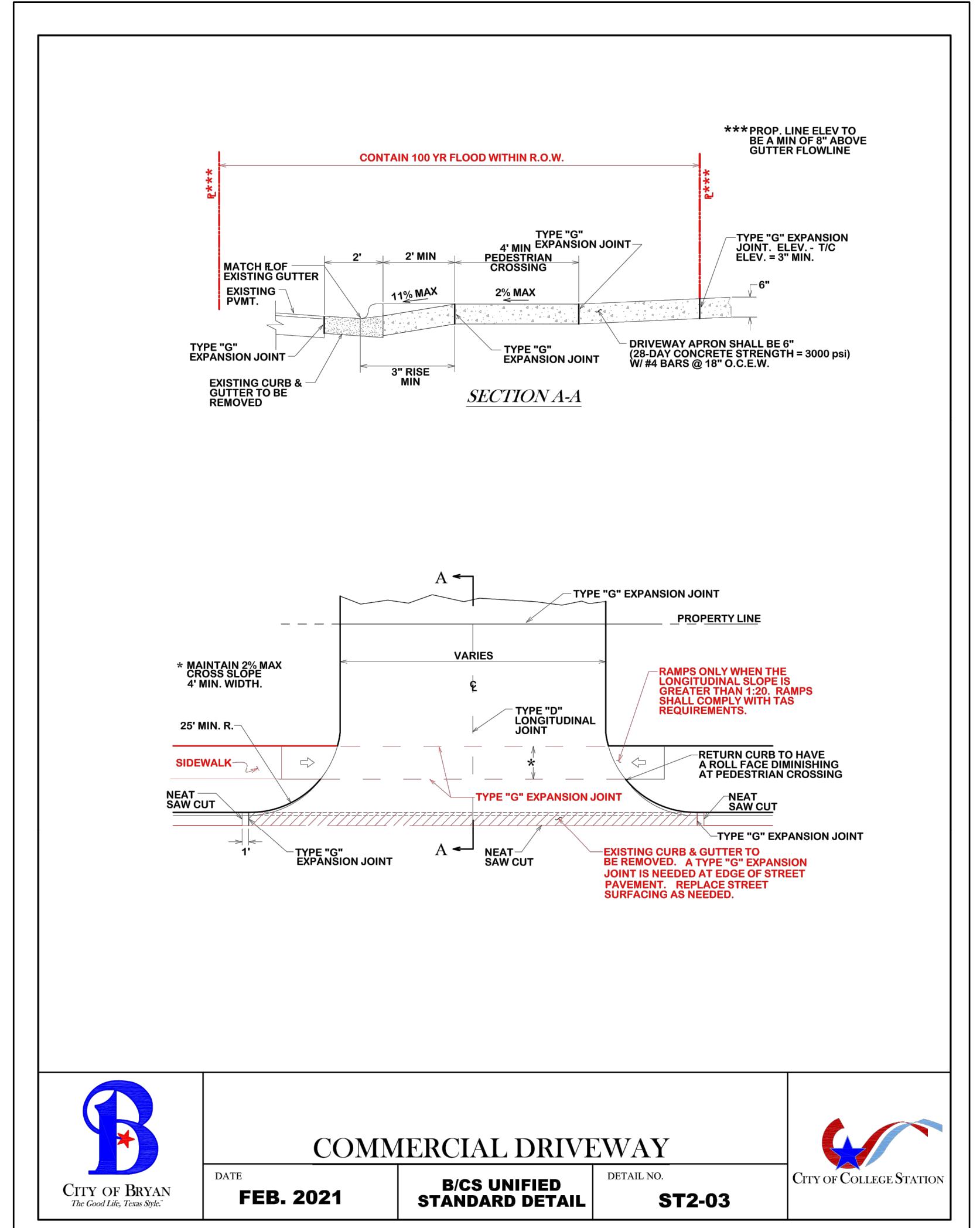
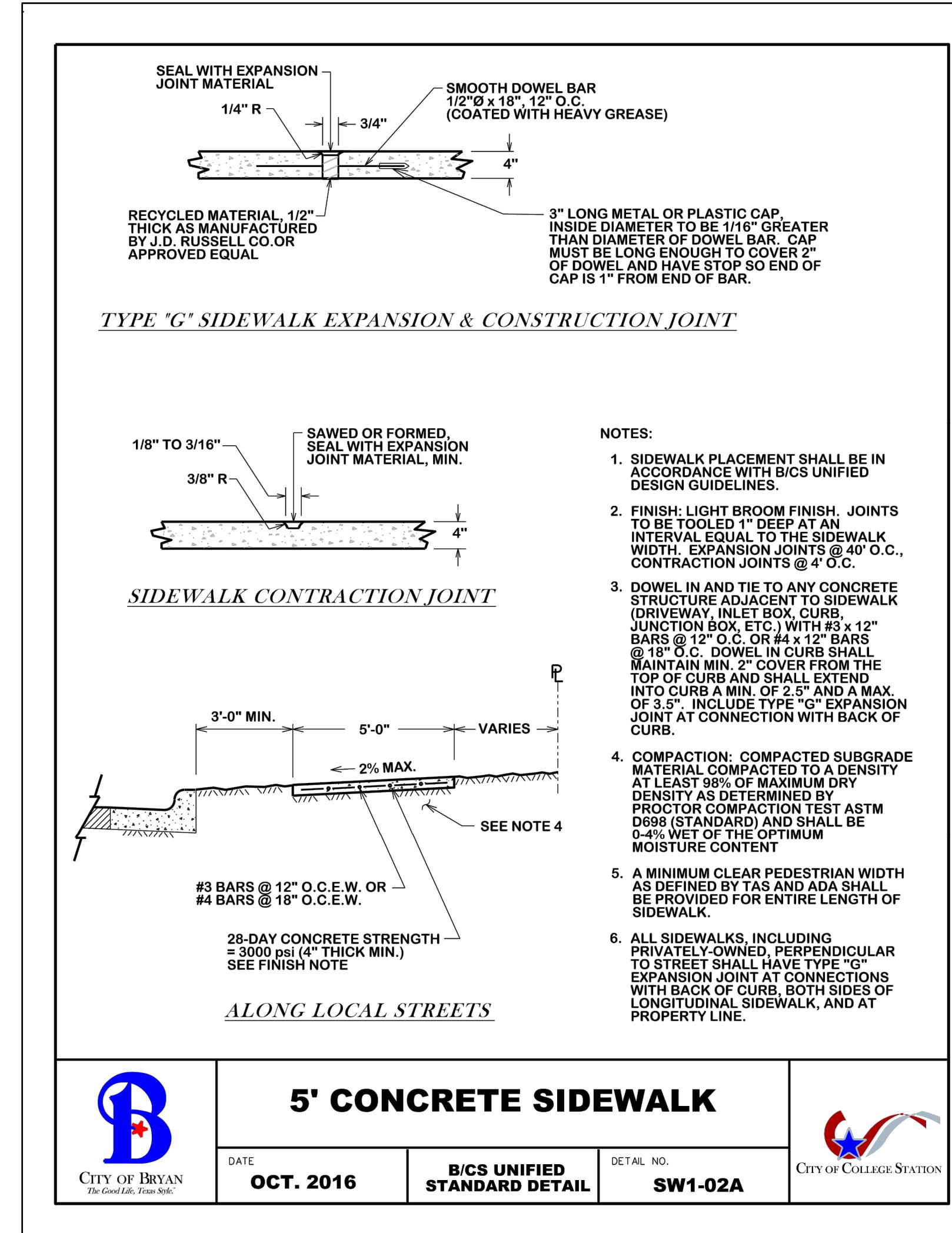


NORTH

20 10 0 20 40
SCALE

PROJECT NUMBER : 25-006
SCALE :
DRAWN BY : R.R.
CHECKED BY : A.Z.
SHEET TITLE :
DRAWING NUMBER: C-6.0

DATE: 03/06/2025
SEAL :
ASHLEY BICE
134060
LIC# 134060
03/06/2025
Texas 811



PROP - LAMPO'S GROCERY
LOCATED AT
4311 N TEXAS AVE, BRYAN, TX 77803

OR:
R REVIEW ONLY
Y
SET
UCTION SET

LEGAL DESCRIPTION:
PHY SURVEY OF LOTS 1, 2, 3, 6, 7, 8,
BLOCK 1
GARET WALLACE SUBDIVISION
VOLUME 138, PAGE 573, B.C.P.R.
IN THE MOSES BAINES LEAGUE A-3

LOT AREA:
72 ACRES (46,676.04 SQ. FT.)

NAME: NAZARANA PROPERTIES INC
PHONE: (979) 450-3350
EMAIL: asifumatiya@gmail.com

NG NUMBER:
C-7.1

ISSUE FOR:
FOR INTER REVIEW ONLY
BID ONLY
PERMITS SET
CONSTRUCTION SET

REVISIONS:	
NO.	DATE
	DESCRIPTION



86 ZEPHYR LANE, SUGAR LAND, TX 77498

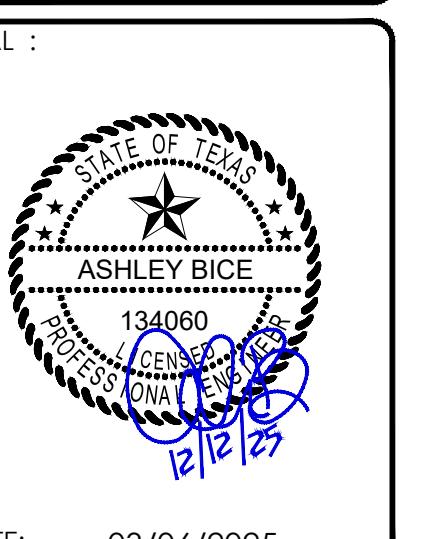
PH # 832-237-7047 TBE FIRM # 21236

LEGAL DESCRIPTION:
TOPOGRAPHY SURVEY OF LOTS 1, 2, 3, 6, 7, 8,
BLOCK 1
MARGARET WALLACE SUBDIVISION
VOLUME 138, PAGE 573, B.C.P.R.
LOCATED IN THE MOSES BAIN LEAGUE, A-3,
BRAZOS COUNTY, TEXAS

LOT AREA:
1.072 ACRES (46,676.04 SQ. FT.)

PROPERTY OWNER CONTACT INFORMATION:
OWNER NAME: NATARANA PROPERTIES INC
PHONE: (979) 430-3350
EMAIL: astumathy@gmail.com

PROP - LAMPO'S GROCERY
LOCATED AT
4311 N TEXAS AVE,
BRYAN, TX 77803



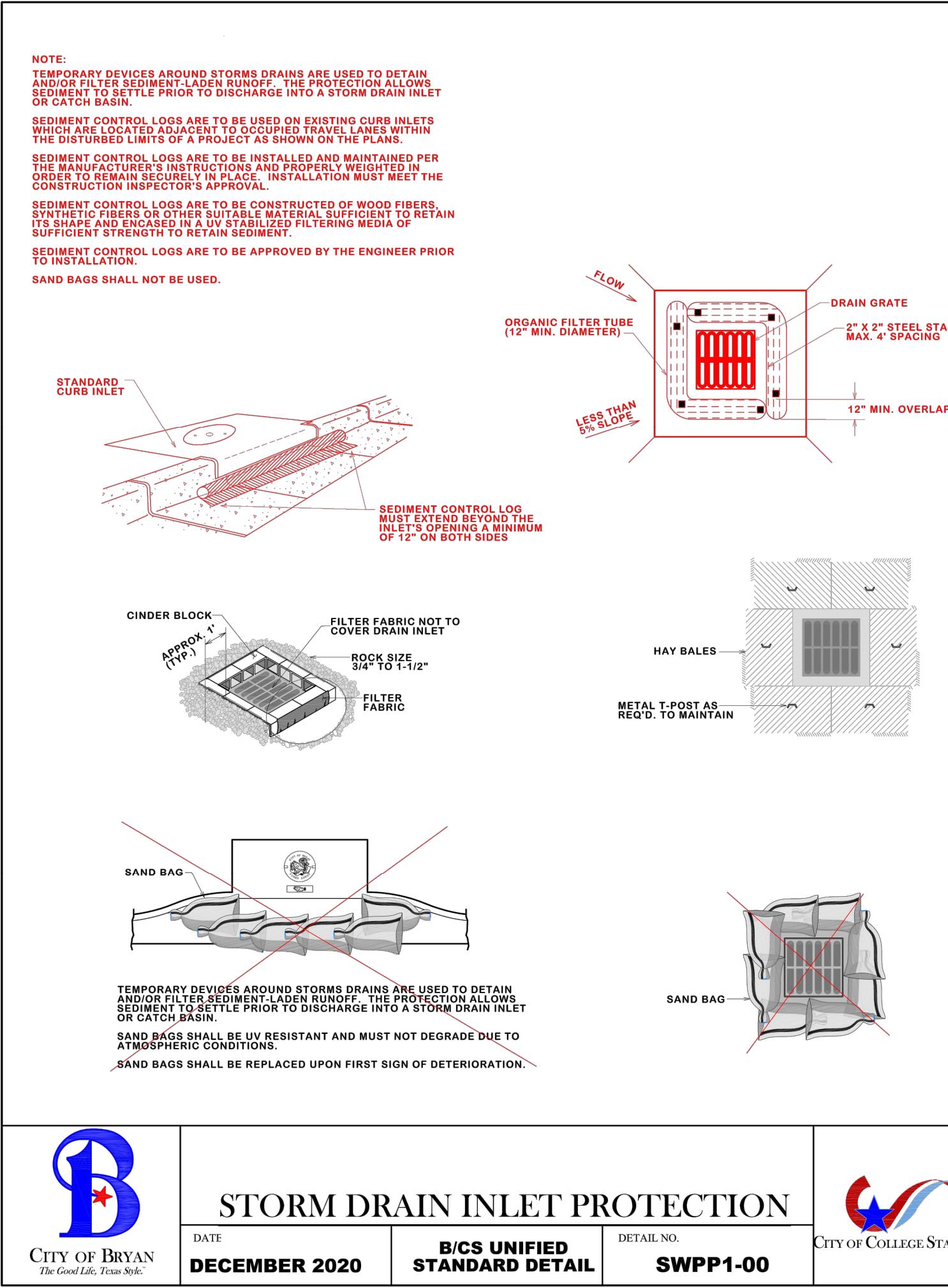
DATE: 03/06/2025

PROJECT NUMBER : 25-006
SCALE :
DRAWN BY : R.R.
CHECKED BY : A.Z.
SHEET TITLE :
C-7.2

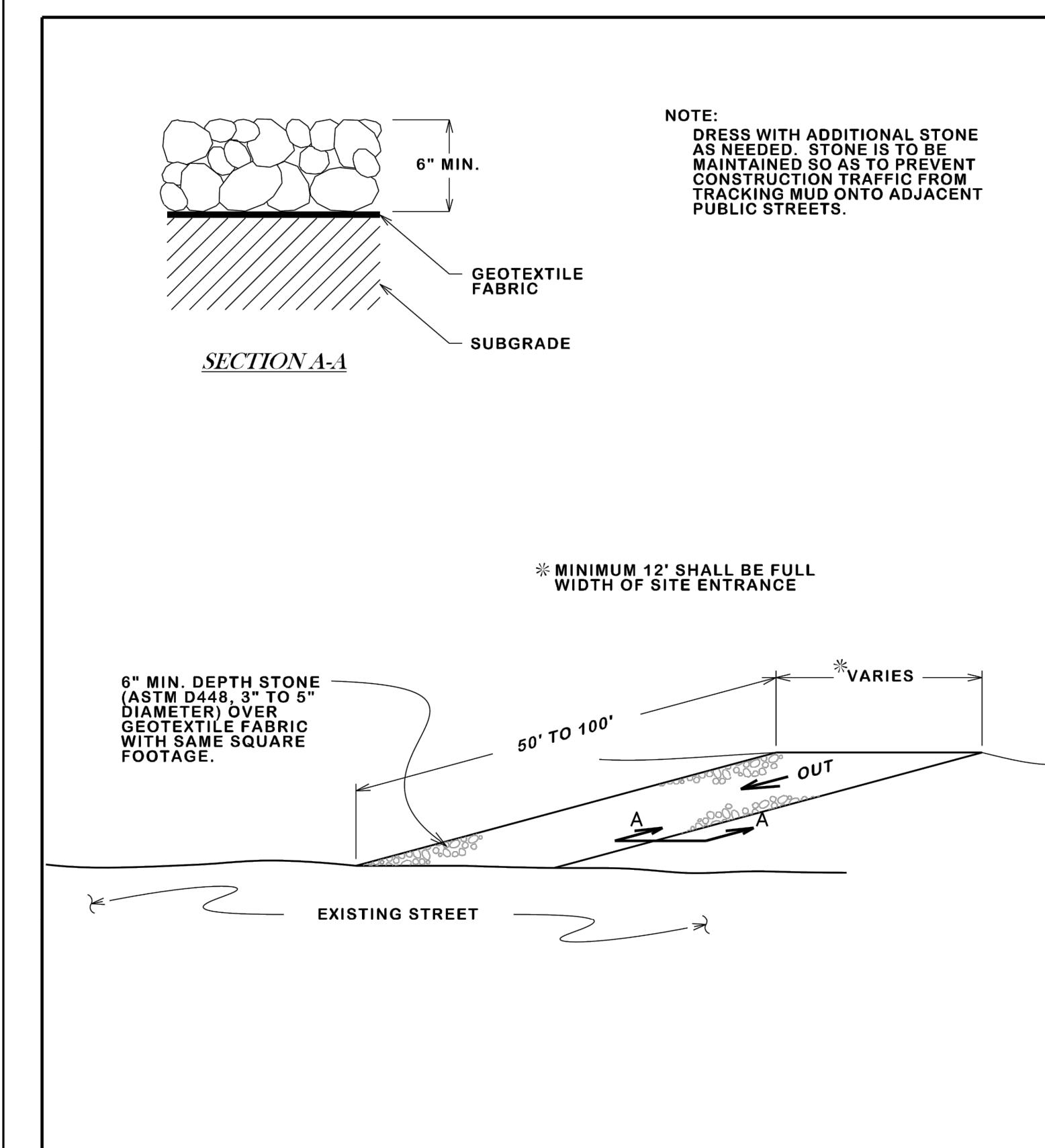
SWPP DETAILS

DRAWING NUMBER:

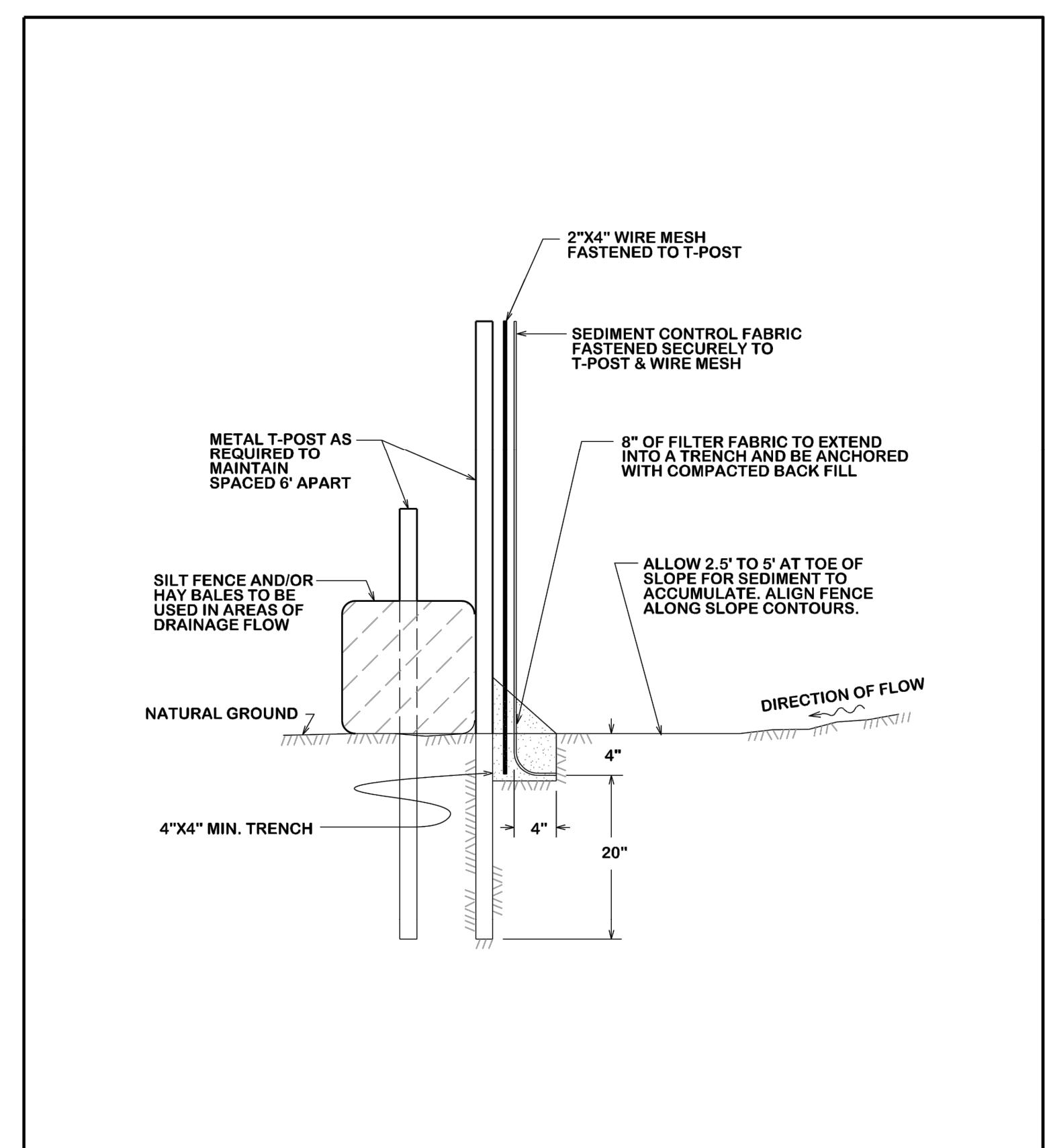
C-7.2



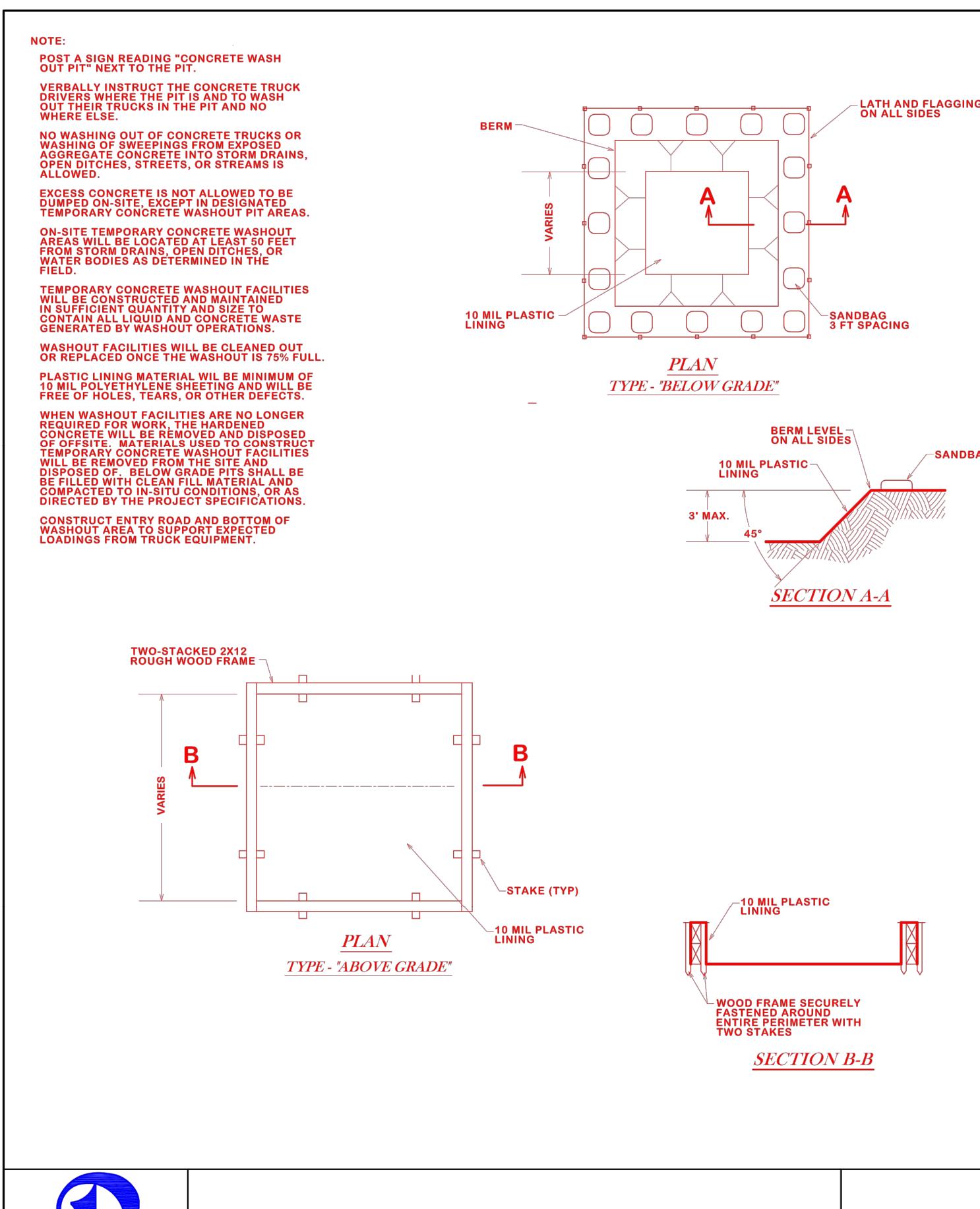
B CITY OF BRYAN The Good Life, Texas Style	STORM DRAIN INLET PROTECTION	B/CS UNIFIED STANDARD DETAIL	DETAIL NO. SWPP1-00	CITY OF COLLEGE STATION
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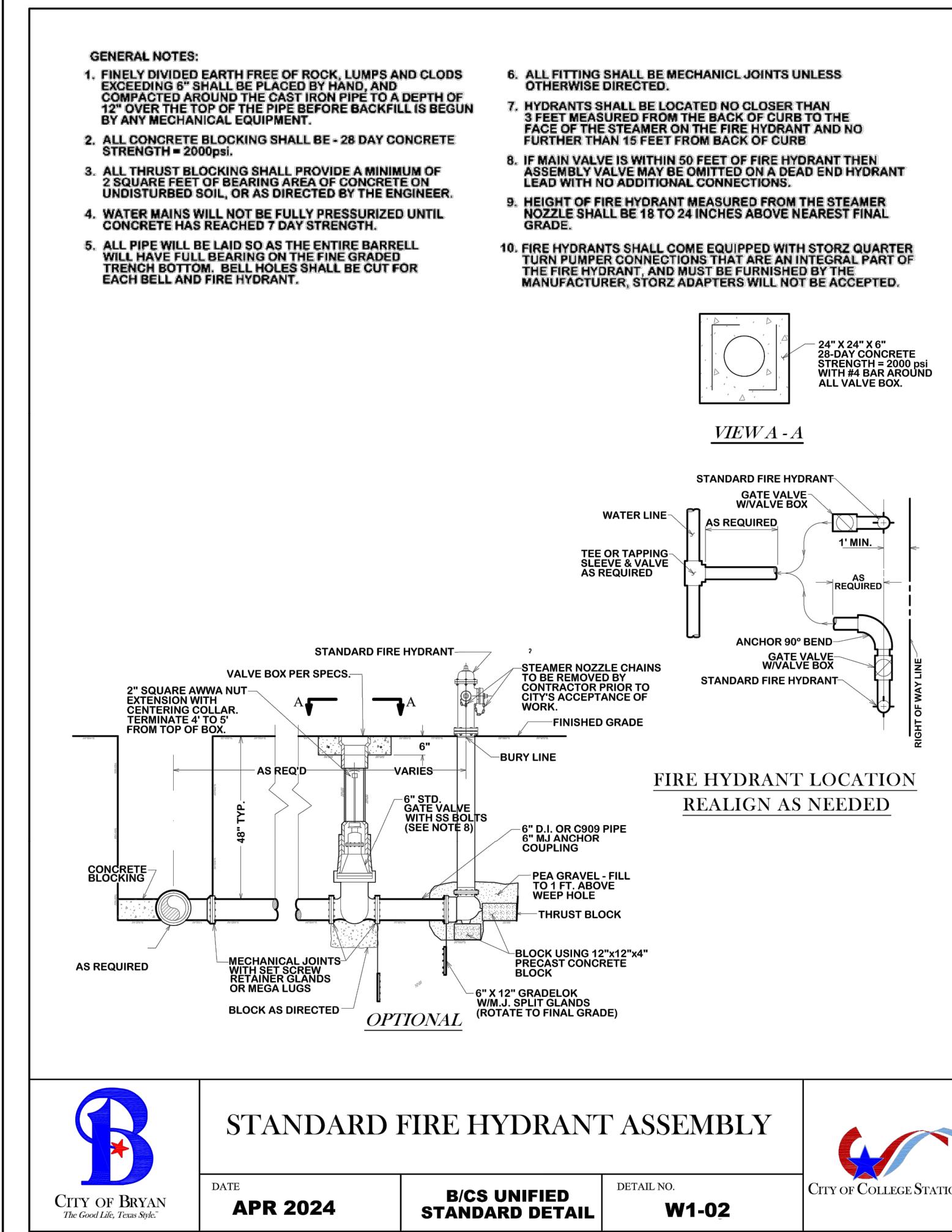
B CITY OF BRYAN The Good Life, Texas Style	CONSTRUCTION EXIT SLIT CONTROL	B/CS UNIFIED STANDARD DETAIL	DETAIL NO. SWPP1-02	CITY OF COLLEGE STATION
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B CITY OF BRYAN The Good Life, Texas Style	SILT FENCE ASSEMBLY	B/CS UNIFIED STANDARD DETAIL	DETAIL NO. SWPP1-03	CITY OF COLLEGE STATION
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B CITY OF BRYAN The Good Life, Texas Style	CONCRETE WASHOUT	B/CS UNIFIED STANDARD DETAIL	DETAIL NO. SWPP1-04	CITY OF COLLEGE STATION
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B CITY OF BRYAN The Good Life, Texas Style	STANDARD FIRE HYDRANT ASSEMBLY	B/CS UNIFIED STANDARD DETAIL	DETAIL NO. W1-02	CITY OF COLLEGE STATION
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